

**7:00 CITY COUNCIL MEETING MONDAY,
JULY 29, 2019**

**7:30 CITY COUNCIL MEETING AGENDA
BEGINS ON PAGE 111**



**SPECIAL CITY COUNCIL MEETING
GLADSTONE, MISSOURI
MONDAY, JULY 29, 2019**

CLOSED SESSION

The City Council will meet in Closed Executive Session at 6:45 pm Monday, July 29, 2019, in the City Manager's office, Gladstone City Hall, 7010 North Holmes, Gladstone, Missouri. The Closed Executive Session is closed pursuant to RSMo. Open Meeting Act Exemption 610.021(2), Real Estate Acquisition Discussion.

SPECIAL MEETING: 7:00 PM

TENTATIVE AGENDA

- 1. Meeting Called to Order.**
- 2. Roll Call.**
- 3. Pledge of Allegiance to the Flag of the United States of America.**
- 4. Approval of Agenda.**

REGULAR AGENDA

- 5. Communications from the Audience.**
- 6. PUBLIC HEARING:** To consider the City of Gladstone, Missouri, issuing taxable Industrial Development Revenue Bonds (Hotel Project) Series 2019, in a principal amount not to exceed \$13,450,800.00 to finance the costs of a Project for SREH MAG Gladstone Partners, LLC; approving a plan for an Industrial Development Project for the Project; authorizing and approving certain documents; and authorizing certain other actions in connection with the issuance of the Bonds.

- 7. FIRST READING BILL NO. 19-29** An Ordinance authorizing the City of Gladstone, Missouri, to issue its taxable Industrial Development Revenue Bonds (Hotel Project) Series 2019, in a principal amount not to exceed \$13,450,800.00 to finance the costs of a Project for SREH MAG Gladstone Partners, LLC; approving a plan for an Industrial Development Project for the Project; authorizing and approving certain documents; and authorizing certain other actions in connection with the issuance of the Bonds.
- 8. PUBLIC HEARING:** Approving the Petition to establish the Linden Block 25 Community Improvement District.
- 9. FIRST READING BILL NO. 19-30** An Ordinance approving the Petition to establish the Linden Block 25 Community Improvement District.
- 10. PUBLIC HEARING:** Approving the Petition to establish the Downtown Linden Community Improvement District.
- 11. FIRST READING BILL NO. 19-31** An Ordinance approving the Petition to establish the Downtown Linden Community Improvement District.
- 12. Other Business.**
- 13. Adjournment.**

Representatives of the News Media may obtain copies of this notice by contacting:

City Clerk Ruth Bocchino
City of Gladstone
7010 North Holmes
Gladstone, MO 64118
816-423-4096

Posted at 2:15 pm
July 25, 2019

AN ORDINANCE AUTHORIZING THE CITY OF GLADSTONE, MISSOURI, TO ISSUE ITS TAXABLE INDUSTRIAL DEVELOPMENT REVENUE BONDS (HOTEL PROJECT), SERIES 2019, IN A PRINCIPAL AMOUNT NOT TO EXCEED \$13,450,800.00 TO FINANCE THE COSTS OF A PROJECT FOR SREH MAG GLADSTONE PARTNERS, LLC; APPROVING A PLAN FOR AN INDUSTRIAL DEVELOPMENT PROJECT FOR THE PROJECT; AUTHORIZING AND APPROVING CERTAIN DOCUMENTS; AND AUTHORIZING CERTAIN OTHER ACTIONS IN CONNECTION WITH THE ISSUANCE OF THE BONDS.

WHEREAS, the City of Gladstone, Missouri (the “City”) is a third class city and political subdivision of the State of Missouri, duly created, organized and existing under and by virtue of the Constitution and laws of the State of Missouri; and

WHEREAS, the City is authorized under the provisions of Article VI, Section 27 of the Missouri Constitution, as amended, and Sections 100.010 to 100.200, inclusive, of the Revised Statutes of Missouri, as amended (collectively, the “Act”), to purchase, construct, extend and improve certain projects (as defined in the Act) for the purposes set forth in the Act and to issue industrial development revenue bonds for the purpose of providing funds to pay the costs of such projects and to lease or otherwise dispose of such projects to private persons or corporations for manufacturing, commercial, warehousing and industrial development purposes upon such terms and conditions as the City shall deem advisable; and

WHEREAS, the City has prepared a plan for industrial development (the “Plan”) for a commercial project consisting of the construction of a hotel with related parking and site improvements (the “Project”); and

WHEREAS, notice of the Project was given to the taxing jurisdictions in accordance with Section 100.059.1 of the Act, and the City now desires to approve the Plan; and

WHEREAS, the City desires to finance the costs of the Project out of the proceeds of industrial development revenue bonds to be issued under the Act (the “Bonds”); and

WHEREAS, the City has and does hereby find and determine that it is desirable for the economic development of the City and within the public purposes of the Act that the City proceed with the issuance of the Bonds for the purpose described above; and

WHEREAS, because the Bonds will be payable solely out of payments, revenues and receipts derived by the City from the lease of the Project to the Company and from no other source, the City has determined that it is appropriate that the Bonds be sold to the Company pursuant to Section 108.170 of Revised Statutes of Missouri, as amended, which provides that

notwithstanding any other provisions of any law or any charter provision to the contrary, industrial development revenue bonds may be sold at private sale; and

WHEREAS, the City further finds and determines that it is necessary and desirable in connection with the approval of the Plan and the issuance of the Bonds that the City enter into certain documents, and that the City take certain other actions and approve the execution of certain other documents as herein provided.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF GLADSTONE, MISSOURI, AS FOLLOWS:

Section 1. Public Purpose. The Council hereby finds and determines that the Project will promote the economic welfare and the development of the City, and the issuance of the Bonds by the City to pay the costs of the Project will be in furtherance of the public purposes set forth in the Act.

Section 2. Approval of Plan. The Council hereby approves the Plan for Industrial Development Project attached hereto as **Exhibit A** in accordance with Section 100.050 of the Act.

Section 3. Authorization and Sale of the Bonds. The City is hereby authorized to issue and sell its Taxable Industrial Development Revenue Bonds (Hotel Project), Series 2019, in an aggregate principal amount not to exceed \$13,450,800, for the purpose of providing funds to pay the costs of the Project. The Bonds shall be issued and secured pursuant to the herein authorized Trust Indenture and shall bear such date, shall mature at such time, shall be in such denominations, shall bear interest at such rate (not to exceed 8.00%), shall be in such form, shall be subject to redemption, shall have such other terms and provisions, shall be issued, executed and delivered in such manner and shall be subject to such provisions, covenants and agreements as are specified in the Trust Indenture upon the execution thereof, and the signatures of the officers of the City executing the Trust Indenture shall constitute conclusive evidence of their approval and the City's approval thereof. The sale of the Bonds to the Company at private sale pursuant to the provisions of Section 108.170 of Revised Statutes of Missouri, as amended, at the interest rate and upon the terms set forth in the Trust Indenture is hereby approved.

Section 4. Limited Obligations. The Bonds and the interest thereon shall be limited obligations of the City payable solely out of the payments, revenues and receipts derived by the City from the herein authorized Lease Agreement, and such payments, revenues and receipts shall be pledged and assigned to the Trustee as security for the payment of the Bonds as provided in the Trust Indenture. The Bonds and interest thereon shall not be deemed to constitute a debt or liability of the City within the meaning of any constitutional provision, statutory limitation or City code provision and shall not constitute a pledge of the full faith and credit of the City. The issuance of the Bonds shall not, directly, indirectly or contingently, obligate the City to levy any form of taxation therefore or to make any appropriation for their payment.

Section 5. Approval and Authorization of Documents. The following documents (the "City Documents") are hereby approved in substantially the forms presented to the Council

at this meeting (copies of which documents shall be filed in the records of the City), and the City is hereby authorized to execute and deliver the City Documents with such changes therein as shall be approved by the officials of the City executing such documents, such officials' signatures thereon being conclusive evidence of their approval thereof:

(a) Trust Indenture dated as of the date set forth therein (the "Trust Indenture"), between the City and Security Bank of Kansas City (the "Trustee"), pursuant to which the Bonds shall be issued and the City shall pledge and assign the payments, revenues and receipts received pursuant to the Lease Agreement to the Trustee for the benefit and security of the owners of the Bonds upon the terms and conditions as set forth in the Trust Indenture;

(b) Lease Agreement dated as of the date set forth therein (the "Lease Agreement"), between the City and SREH MAG Gladstone Partners, LLC (the "Company"), under which the City will (i) provide funds for the construction, improvement and equipping of the Project and (ii) lease the Project to the Company pursuant to the terms and conditions in the Lease Agreement, in consideration of rental payments by the Company which will be sufficient to pay the principal of, premium, if any, and interest on the Bonds;

(c) Bond Purchase Agreement dated as of the date set forth therein, between the City and the Company, pursuant to which the Company agrees to purchase the Bonds; and

(d) Performance Agreement dated as of the date set forth therein, between the City and the Company, pursuant to which the City will grant the Company certain rights with respect to the abatement of *ad valorem* real and personal property taxes on the Project in consideration for the Company's agreement to operate each facility comprising the Project as a commercial facility.

Section 6. Execution of Documents. The Mayor or the City Manager of the City is hereby authorized and directed to execute the Bonds and to deliver the Bonds to the Trustee for authentication for and on behalf of and as the act and deed of the City in the manner provided in the Indenture. The Mayor or the City Manager of the City is hereby authorized and directed to execute the City Documents and such other documents, certificates and instruments as may be necessary or desirable to carry out and comply with the intent of this Ordinance, for and on behalf of and as the act and deed of the City. The City Clerk of the City is hereby authorized and directed to attest to and affix the seal of the City to the Bonds and the City Documents and such other documents, certificates and instruments as may be necessary or desirable to carry out and comply with the intent of this Ordinance.

Section 7. Further Authority. The City shall, and the officials, agents and employees of the City are hereby authorized and directed to, take such further action, and execute such other documents, certificates and instruments as may be necessary or desirable to carry out and comply with the intent of this Ordinance and to carry out, comply with and perform the duties of the City with respect to the Bonds and the City Documents.

Section 8. Severability. The sections, paragraphs, sentences, clauses and phrases of this Ordinance shall be severable. In the event that any such section, paragraph, sentence, clause or phrase of this Ordinance is found by a court of competent jurisdiction to be invalid, the remaining portions of this Ordinance are valid, unless the court finds the valid portions of the Ordinance are so essential to and inseparably connected with and dependent upon the void portion that it cannot be presumed that the City Council has enacted the valid portions without the void ones, or unless the court finds that the valid portions, standing alone, are incomplete and are incapable of being executed in accordance with the legislative intent.

Section 9. Governing Law. This Ordinance shall be governed exclusively by and construed in accordance with the applicable laws of the State of Missouri.

Section 10. Effective Date. This Ordinance shall take effect and be in full force from and after its passage by the City Council.

INTRODUCED, READ, PASSED, AND ADOPTED BY THE COUNCIL OF THE CITY OF GLADSTONE, MISSOURI, THIS 29th DAY OF JULY 2019.

Mayor Carol J. Suter

(SEAL)

ATTEST:

Ruth E. Bocchino
City Clerk

First Reading: July 29, 2019

Second Reading: July 29, 2019



Request for Council Action

RES ☐ # City Clerk Only

BILL ☒ # 19-29

ORD ☒ # 4.480

Date: 7/24/2019

Department: General Administration

Meeting Date Requested: 07/29/19

Public Hearing: Yes ☒ Date: 07/29/19

Subject: Approval of an Ordinance authorizing the City of Gladstone, Missouri, to issue its taxable Industrial Development Revenue Bonds (Hotel Project) Series 2019, in a principal amount not to exceed \$13,450,800 to finance the costs of a Project for Sreh Mag Gladstone Partners, LLC; approving a plan for an Industrial Development Project for the Project; authorizing and approving certain documents; and authorizing certain other actions in connection with the issuance of the Bonds.

Background: Sreh Mag Gladstone Partners, LLC has agreed to the terms of a development plan with the City of Gladstone for property owned by the City in the 6900 Block of North Oak. This development plan includes the issuance of taxable industrial revenue bonds, authorized under Missouri Sections 100.010 to 100.200, RSMo. The proceeds of these bonds will be used to purchase the property and construct a 5-story, 109-room hotel operated under a nationally recognized brand agreed to by the City of Gladstone.

Budget Discussion: Funds are budgeted in the amount of \$ 0 from the GENERAL fund. Ongoing costs are estimated to be \$ 0 annually. Previous years' funding was \$0

Public/Board/Staff Input: N/A

Provide Original Contracts, Leases, Agreements, etc. to: City Clerk

Bob Baer
Assistant City Manager

PC
City Attorney

SW
City Manager

EXHIBIT A

PLAN FOR INDUSTRIAL DEVELOPMENT PROJECT

[FOLLOWS THIS PAGE]

NOTICE TO TAXING JURISDICTIONS

On behalf of the City of Gladstone, Missouri ("City"), please find enclosed a copy of the proposed Plan for an Industrial Development Project ("Plan") for Gladstone Hotel Partners, LLC, which also contains a Cost Benefit Analysis on the affected taxing jurisdictions.

The City Council will consider an ordinance to approve the Plan during the City Council's meeting on Monday, July 29, 2019, at 7:00 p.m. at Gladstone City Hall, City Council Chambers, 7010 North Holmes, Gladstone, Missouri.

The City invites you to submit comments to the Council on the proposed Plan. All comments will be fairly and duly considered by the City.

A copy of the Plan and Cost Benefit Analysis for the proposed project will be on file in the office of the City Clerk and will be available for public inspection during normal business hours.

Dated: July 9, 2019

Ruth Bocchino
City Clerk
City of Gladstone, Missouri

CITY OF GLADSTONE, MISSOURI

**PLAN FOR AN INDUSTRIAL
DEVELOPMENT PROJECT
AND
COST-BENEFIT ANALYSIS**

FOR

GLADSTONE HOTEL PARTNERS, LLC

CITY OF GLADSTONE, MISSOURI

PLAN FOR AN INDUSTRIAL DEVELOPMENT PROJECT AND COST-BENEFIT ANALYSIS FOR GLADSTONE HOTEL PARTNERS, LLC

I. PURPOSE OF THIS PLAN

The City Council of the City of Gladstone, Missouri (the "City") will consider the issuance by the City of its industrial development revenue bonds in the aggregate principal amount of approximately \$13,450,800 (the "Bonds"), to finance and refinance the costs of an industrial development project (the "Project") for Gladstone Hotel Partners, LLC (the "Company"). The Bonds will be issued pursuant to the provisions of Sections 100.010 to 100.200 of the Revised Statutes of Missouri, as amended, and Article VI, Section 27(b) of the Missouri Constitution, as amended (collectively, the "Act").

This Plan for an Industrial Development Project and Cost-Benefit Analysis (the "Plan") has been prepared to satisfy the requirements of the Act and to analyze the potential costs and benefits, including the related tax impact on all affected taxing jurisdictions, of using industrial development revenue bonds to finance the Project and to facilitate abatement of ad valorem taxes on the bond-financed property.

II. DESCRIPTION OF CHAPTER 100 FINANCINGS

General. The Act authorizes cities, counties, towns and villages to issue industrial development revenue bonds to finance the purchase, construction, extension and improvement of warehouses, distribution facilities, research and development facilities, office industries, agricultural processing industries, service facilities that provide interstate commerce, industrial plants and other commercial facilities.

Issuance and Sale of Bonds. Revenue bonds issued pursuant to the Act do not require voter approval and are payable solely from revenues received from the project. The municipality issues its bonds and in exchange, the benefited company promises to make payments that are sufficient to pay the principal of and interest on the bonds as they become due. Thus, the municipality merely acts as a conduit for the financing.

Concurrently with the closing of the bonds, the municipality will hold title to the site on which the industrial development project will be located. (The municipality must be the legal owner of the property while the bonds are outstanding for the property to be eligible for tax abatement, as further described below.) At the same time, the municipality will lease the project site and the improvements thereon back to the benefited company pursuant to a lease agreement. The lease agreement will require the company, acting on behalf of the municipality, to use the bond proceeds to finance and refinance the costs or reimburse the costs of purchasing, constructing and installing the project, as applicable.

Under the lease agreement, the company typically: (1) will unconditionally agree to make payments sufficient to pay the principal of and interest on the bonds as they become due; (2) will agree, at its own expense, to maintain the project, to pay all taxes and assessments with respect to the project, and to maintain adequate insurance; (3) has the right, at its own expense, to make certain additions, modifications or improvements to the project; (4) may assign its interests under the lease agreement or sublease the project while remaining responsible for payments under the lease agreement; (5) will covenant to maintain its corporate existence during the term of the bond issue; and (6) will agree to

indemnify the municipality for any liability the municipality might incur as a result of its participation in the transaction.

Property Tax Abatement. Under Article X, Section 6 of the Missouri Constitution and Section 137.100 of the Revised Statutes of Missouri, all property of any political subdivision is exempt from taxation. In a typical transaction, the municipality holds fee title to the project and leases the project to the benefited company. Although the Missouri Supreme Court has held that the leasehold interest is taxable, it is taxable only to the extent that the economic value of the lease is less than the actual market value of the lease. See *Iron County v. State Tax Commission*, 437 S.W.2d 665 (Mo. 1968)(*en banc*) and *St. Louis County v. State Tax Commission*, 406 S.W.2d 644 (Mo. 1966)(*en banc*). If the rental payments under the lease agreement equal the actual debt service payments on the bonds, the leasehold interest should have no “bonus value” and the bond-financed property should be exempt from ad valorem taxation and personal property taxation so long as the bonds are outstanding.

If the municipality and the company determine that partial tax abatement is desirable, the company may agree to make “payments in lieu of taxes.” The amount of payments in lieu of taxes is negotiable. The payments in lieu of taxes are payable by December 31 of each year, and are distributed to the municipality and to each political subdivision within the boundaries of the project in the same manner and in the same proportion as property taxes would otherwise be distributed under Missouri law.

III. DESCRIPTION OF THE PARTIES

Gladstone Hotel Partners, LLC. The Company is a limited liability company organized and existing under the laws of the State of Delaware and is authorized to do business in Missouri.

City of Gladstone, Missouri. The City is a third class city and municipal corporation organized and existing under the laws of the State of Missouri. The City is authorized and empowered pursuant to the provisions of the Act to purchase, construct, extend and improve certain projects (as defined in the Act) and to issue industrial development revenue bonds for the purpose of providing funds to pay the costs of such projects and to lease or otherwise dispose of such projects to private persons or corporations for manufacturing, commercial, warehousing and industrial development purposes upon such terms and conditions as the City deems advisable.

IV. REQUIREMENTS OF THE ACT

Description of the Project. The project to be financed by the Bonds consists of the purchase and development of certain property in the City of Gladstone, Clay County, Missouri, into a hotel with related parking and site improvements. The real property improvements being financed by the Bonds are referred to herein as the “Project Improvements” which are located on certain real estate referred to herein as the “Project Site, and the Project Improvements and Project Site are referred to herein collectively as the “Project.” The Project Site and existing structures on the Project Site are referred to as the “Existing Facilities.” The Project Site consists of approximately 1.56 acres of property, which is a portion of the property bounded on the west by North Oak Trafficway, on the North by NE 70th Street, on the East by N. Locust Street and on the South by NE 69th Street.

Estimate of the Costs of the Project. The cost of design and constructing the Project Improvements is estimated to be \$12,630,000, and the cost of acquisition of the Project Site is estimated to be \$820,800. The Project Improvements are expected to be completed in 2020.

Source of Funds to be Expended for the Project Improvements. The sources of funds to be expended for the Project will be the proceeds of the Bonds in the amount set forth above to be issued by

the City and purchased by the Company (the “Bondholder”) and, if needed, other available funds of the Company. The Bonds will be payable solely from the revenues derived by the City from the lease or other disposition of the Project (as further described below). The Bonds will not be an indebtedness or general obligation, debt or liability of the City or the State of Missouri.

Statement of the Terms Upon Which the Project is to be Leased or Otherwise Disposed of by the City. The Project Site is currently owned and controlled by the City. The City will lease the Project Site and the Project Improvements to the Company pursuant to a lease agreement that will provide for lease payments equal to the principal and interest payments on the Bonds. Under the terms of the lease agreement with the City, the Company will have the option to purchase the Project at any time and will have the obligation to purchase the Project at the termination of the lease. The lease agreement between the City and the Company will terminate in 2039, unless terminated sooner pursuant to the terms of the lease agreement.

Affected School District, Community College District, County and City. The North Kansas City School District is the school district affected by the Project. Clay County, Missouri is the county affected by the Project. Metropolitan Community College is the community college district affected by the Project. The City is the city affected by the Project. The Cost-Benefit Analysis attached hereto identifies all other taxing districts affected by the Project (other than those taxing entities solely affected by the Project with respect to receipt of tax revenues from the commercial surcharge tax).

Current Assessed Valuation. The most recent equalized assessed valuation of the Project Site is \$125,824. The estimated total equalized assessed valuation of the Project after the Project Improvements are made (2021) is estimated to be \$3,806,496, which is equal to 32.0% of the estimated property acquisition, design and construction costs set forth in the assumptions in Attachment A. The Project is assumed to be assessed at 50% of its value in 2020 (\$1,903,248), reflecting a partial assessment, with full assessment beginning in the year 2021.

Payments in Lieu of Taxes. If this Plan is approved by the City Council, the City intends to issue the Bonds and to extend tax abatement to the Company. The Project Site is currently owned and controlled by the City and would, consequently, generate no real property tax for 2019. The Project is expected to be fully operational beginning in 2020. The Project will be excluded from the calculation of ad valorem property taxes for a period beginning in 2019 and continuing through 2039

The Company will make PILOT Payments on a fixed schedule as follows:

2020	\$10,000
2021	10,200
2022	10,404
2023	10,612
2024	10,824
2025	11,041
2026	11,262
2027	11,487
2028	11,717
2029	11,951
2030	12,190
2031	12,434
2032	12,682
2033	12,936

2034	13,195
2035	13,459
2036	13,728
2037	14,002
2038	14,282
2039	14,568

Such payments in lieu of taxes would, after reduction for actual costs of the City for distributing such payments, be distributed among the taxing jurisdictions in proportion to the amount of taxes which would have been paid in each year had the Project not been exempt from taxation, pursuant to Section 100.050.3 of the Act.

Sales Tax Exemption. It is anticipated that the construction materials used to construct the Project will be exempt from state and local sales taxes.

Cost-Benefit Analysis and Discussion of Exhibits. In compliance with Section 100.050.2(3) of the Revised Statutes of Missouri, as amended, this Plan has been prepared to show the costs and benefits to the City and to other taxing jurisdictions affected by the tax abatements and exemptions of the Project. The following is a summary of the exhibits attached to this Plan that show the direct tax impact the Project is expected to have on each taxing jurisdiction. This Plan does not attempt to quantify the overall economic impact of the Project.

Project Assumptions. ATTACHMENT A presents a list of the assumptions related to the determination of assessed valuations and the tax formulas.

Cost Benefit Analysis. ATTACHMENT B, the Cost Benefit Analysis, provides the projected tax revenues that would be generated from the Project Site without tax abatement and prior to the Project Improvements; the projected value of the real property tax abatement to the Company; and the projected PILOT Amounts to be paid for the Project.

V. ASSUMPTIONS AND BASIS OF PLAN

In preparing this Plan, key assumptions have been made to estimate the fiscal impact of the abatement and exemptions proposed for the Project. See ATTACHMENT A for a summary of these assumptions.

Information necessary to complete this Plan, has been furnished by representatives of the City, representatives of the Company and its counsel, the Bondholder and other persons deemed appropriate and such information has not been independently verified for accuracy, completeness or fairness.

* * *

ATTACHMENT A

SUMMARY OF KEY ASSUMPTIONS

1. The cost of design and constructing the Project Improvements is estimated to be \$12,630,000, and the cost of acquisition of the Project Site is estimated to be \$820,800.

2. The construction of the Project Improvements will be completed in 2019 and 2020. The Project is assumed to be assessed at 50% of its value in 2020, reflecting a partial assessment, with full assessment beginning in the year 2021.

3. The Project will be owned by the City and leased to the Company with an option to purchase. As long as the Project is owned by the City, it will be exempt from ad valorem taxes.

4. The Project will be excluded from the calculation of ad valorem property taxes for a period beginning in 2019 and continuing through 2039.

5. During the entire term of the Bonds through 2039, the Company will make payments in lieu of taxes in accordance with that portion of Section IV above in the Plan entitled "Payments in Lieu of Taxes."

6. Commercial real property taxes are calculated using the following formula:

$$(\text{Assessed Value} * \text{Tax Rate})/100$$

7. The assessed value of the Project Improvements is calculated using the following formula:

$$\text{Estimated Value} * \text{Assessment Ratio of 32\%}$$

8. After development, the assessed value of the Project Site is subject to growth at an estimated rate of 1% every year an assessment is made (every odd year).

9. The tax rates used in this Plan reflect the rates in effect for the tax year 2018. The tax rates were held constant through the 2039 tax year.

* * *

ATTACHMENT B
COST BENEFIT ANALYSIS

Project Summary
(20-year, Real Property Exemption with Fixed PILOT Payments)

Tax District	Real Property Tax - If No Project Occurs*	Real Property Tax Impact - No Exemption/ No Abatement	PILOTS to Taxing Districts	Exemption (Abatement) Value
Clay County - County Services	5,645	165,922	6,101	159,821
City of Gladstone	24,459	718,943	26,436	692,507
Handicap Tax	3,107	91,319	3,358	87,961
Health Tax	2,591	76,151	2,800	73,351
KCJC Tax	6,069	178,381	6,559	171,822
Library Tax	10,434	306,692	11,277	295,415
Mental Health Tax	2,591	76,151	2,800	73,351
North Kansas City School District	169,118	4,971,075	182,789	4,788,286
State of Missouri	790	23,217	854	22,363
Total	\$ 224,801	\$ 6,607,849	\$ 242,974	\$ 6,364,875

*based on a projected 2020 assessed valuation of \$125,824. In the event the City continued to own the Project Site through 2039 as is currently the case, these numbers would be \$0.

Hotel Project		TAX IMPACT - NO PROJECT - NO ABATEMENT*										
	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11	
Taxing Jurisdictions	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	
Clay County - County Services	\$ -	270	270	272	272	275	275	278	278	281	281	
City of Gladstone	\$ -	1,169	1,169	1,181	1,181	1,192	1,192	1,204	1,204	1,216	1,216	
Handicap Tax	\$ -	148	148	150	150	151	151	153	153	155	155	
Health Tax	\$ -	124	124	125	125	126	126	128	128	129	129	
KCJC Tax	\$ -	290	290	293	293	296	296	299	299	302	302	
Library Tax	\$ -	499	499	504	504	509	509	514	514	519	519	
Mental Health Tax	\$ -	124	124	125	125	126	126	128	128	129	129	
North Kansas City School District	\$ -	8,082	8,082	8,163	8,163	8,245	8,245	8,327	8,327	8,410	8,410	
State of Missouri	\$ -	38	38	38	38	39	39	39	39	39	39	
Total	\$ -	10,743	\$ 10,743	\$ 10,851	\$ 10,851	\$ 10,959	\$ 10,959	\$ 11,069	\$ 11,069	\$ 11,180	\$ 11,180	

*based on a 2020 projected assessed valuation of \$125,824. In the event the City continued to own the Project Site through 2039, as is currently the case, these numbers would be \$0.

Hotel Project		TAX IMPACT - NO PROJECT - NO ABATEMENT*										
		Year 12	Year 13	Year 14	Year 15	Year 16	Year 17	Year 18	Year 19	Year 20	Year 21	Total
		2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	
Taxing Jurlsdictions												
Clay County - County Services		284	284	286	286	289	289	292	292	295	295	\$ 5,645
City of Gladstone		1,229	1,229	1,241	1,241	1,253	1,253	1,266	1,266	1,278	1,278	\$ 24,459
Handicap Tax		156	156	158	158	159	159	161	161	162	162	\$ 3,107
Health Tax		130	130	131	131	133	133	134	134	135	135	\$ 2,591
KCJC Tax		305	305	308	308	311	311	314	314	317	317	\$ 6,069
Library Tax		524	524	529	529	535	535	540	540	545	545	\$ 10,434
Mental Health Tax		130	130	131	131	133	133	134	134	135	135	\$ 2,591
North Kansas City School District		8,495	8,495	8,580	8,580	8,665	8,665	8,752	8,752	8,839	8,839	\$ 169,118
State of Missouri		40	40	40	40	40	40	41	41	41	41	\$ 790
Total		\$ 11,292	\$ 11,292	\$ 11,404	\$ 11,404	\$ 11,518	\$ 11,518	\$ 11,634	\$ 11,634	\$ 11,750	\$ 11,750	\$ 224,801

*based on a 2020 projected assessed v *based on a projected 2020 assessed valuation of \$125,824. In the event the City continued to own the Project Site through 2039, as is currently the case, these numbers would be \$0.

Hotel Project

Real Property Tax Calculation - Project Value, No Exemption (Abatement)

	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11
	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029
Est. Assessed Value	-	1,903,248	3,806,496	3,806,496	3,844,561	3,844,561	3,883,007	3,883,007	3,921,837	3,921,837	3,961,055

Taxing Jurisdictions

	Tax Rate											
Clay County - County Services	0.214400	-	4,081	8,161	8,161	8,243	8,243	8,325	8,325	8,408	8,408	8,493
City of Gladstone	0.929000	-	17,681	35,362	35,362	35,716	35,716	36,073	36,073	36,434	36,434	36,798
Handicap Tax	0.118000	-	2,246	4,492	4,492	4,537	4,537	4,582	4,582	4,628	4,628	4,674
Health Tax	0.098400	-	1,873	3,746	3,746	3,783	3,783	3,821	3,821	3,859	3,859	3,898
KCJC Tax	0.230500	-	4,387	8,774	8,774	8,862	8,862	8,950	8,950	9,040	9,040	9,130
Library Tax	0.396300	-	7,543	15,085	15,085	15,236	15,236	15,388	15,388	15,542	15,542	15,698
Mental Health Tax	0.098400	-	1,873	3,746	3,746	3,783	3,783	3,821	3,821	3,859	3,859	3,898
North Kansas City School District	6.423500	-	122,255	244,510	244,510	246,955	246,955	249,425	249,425	251,919	251,919	254,438
State of Missouri	0.030000	-	571	1,142	1,142	1,153	1,153	1,165	1,165	1,177	1,177	1,188
Total	8.538500	\$ -	\$ 162,509	\$ 325,018	\$ 325,018	\$ 328,268	\$ 328,268	\$ 331,551	\$ 331,551	\$ 334,866	\$ 334,866	\$ 338,215

Hotel Project

Real Property Tax Calculation - Project Value, No Exemption (Abatement)

	Year 12	Year 13	Year 14	Year 15	Year 16	Year 17	Year 18	Year 19	Year 20	Year 21
	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039
Est. Assessed Value	3,961,055	4,000,666	4,000,666	4,040,672	4,040,672	4,081,079	4,081,079	4,121,890	4,121,890	4,163,109

Taxing Jurisdictions

TOTAL

	Tax Rate											
Clay County - County Services	0.214400	8,493	8,577	8,577	8,663	8,663	8,750	8,750	8,837	8,837	8,926	165,922
City of Gladstone	0.929000	36,798	37,166	37,166	37,538	37,538	37,913	37,913	38,292	38,292	38,675	718,943
Handicap Tax	0.118000	4,674	4,721	4,721	4,768	4,768	4,816	4,816	4,864	4,864	4,912	91,319
Health Tax	0.098400	3,898	3,937	3,937	3,976	3,976	4,016	4,016	4,056	4,056	4,096	76,151
KCJC Tax	0.230500	9,130	9,222	9,222	9,314	9,314	9,407	9,407	9,501	9,501	9,596	178,381
Library Tax	0.396300	15,698	15,855	15,855	16,013	16,013	16,173	16,173	16,335	16,335	16,498	306,692
Mental Health Tax	0.098400	3,898	3,937	3,937	3,976	3,976	4,016	4,016	4,056	4,056	4,096	76,151
North Kansas City School District	6.423500	254,438	256,983	256,983	259,553	259,553	262,148	262,148	264,770	264,770	267,417	4,971,075
State of Missouri	0.030000	1,188	1,200	1,200	1,212	1,212	1,224	1,224	1,237	1,237	1,249	23,217
Total	8.538500	\$ 338,215	\$ 341,597	\$ 341,597	\$ 345,013	\$ 345,013	\$ 348,463	\$ 348,463	\$ 351,948	\$ 351,948	\$ 355,467	\$ 6,607,849

Hotel Project		Real Property Tax Impact - Exemption (Abatement) Value										
		Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11
		2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029
Incremental Assessed Value		\$ -	1,903,248	3,806,496	3,806,496	3,844,561	3,844,561	3,883,007	3,883,007	3,921,837	3,921,837	3,961,055
Taxing Jurisdictions												
Clay County - County Services	0.214400	\$ -	3,829	7,905	7,900	7,976	7,971	8,048	8,042	8,120	8,114	8,192
City of Gladstone	0.929000	\$ -	16,593	34,253	34,230	34,561	34,538	34,872	34,848	35,184	35,159	35,498
Handicap Tax	0.118000	\$ -	2,108	4,351	4,348	4,390	4,387	4,429	4,426	4,469	4,466	4,509
Health Tax	0.098400	\$ -	1,758	3,628	3,626	3,661	3,658	3,694	3,691	3,727	3,724	3,760
KCIC Tax	0.230500	\$ -	4,117	8,499	8,493	8,575	8,570	8,652	8,646	8,730	8,724	8,808
Library Tax	0.396300	\$ -	7,078	14,612	14,602	14,743	14,734	14,876	14,866	15,009	14,998	15,143
Mental Health Tax	0.098400	\$ -	1,758	3,628	3,626	3,661	3,658	3,694	3,691	3,727	3,724	3,760
North Kansas City School District	6.423500	\$ -	114,732	236,837	236,683	238,972	238,812	241,119	240,953	243,278	243,104	245,448
State of Missouri	0.030000	\$ -	536	1,106	1,105	1,116	1,115	1,126	1,125	1,136	1,135	1,146
Total	8.538500	\$ -	\$ 152,509	\$ 314,818	\$ 314,614	\$ 317,656	\$ 317,444	\$ 320,510	\$ 320,289	\$ 323,379	\$ 323,149	\$ 326,264

Hotel Project		Real Property Tax Impact - Exemption (Abatement) Value										
		Year 12	Year 13	Year 14	Year 15	Year 16	Year 17	Year 18	Year 19	Year 20	Year 21	
		2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	
Incremental Assessed Value		3,961,055	4,000,666	4,000,666	4,040,672	4,040,672	4,081,079	4,081,079	4,121,890	4,121,890	4,163,109	
Taxing Jurisdictions		TOTALS										
Clay County - County Services		8,186	8,265	8,259	8,338	8,332	8,412	8,405	8,486	8,479	8,560	\$ 159,821
City of Gladstone		35,472	35,813	35,786	36,130	36,102	36,449	36,420	36,769	36,738	37,090	\$ 692,507
Handicap Tax		4,506	4,549	4,546	4,589	4,586	4,630	4,626	4,670	4,666	4,711	\$ 87,961
Health Tax		3,757	3,793	3,791	3,827	3,824	3,861	3,858	3,895	3,891	3,929	\$ 73,351
KCIC Tax		8,801	8,886	8,879	8,965	8,958	9,044	9,036	9,123	9,115	9,203	\$ 171,822
Library Tax		15,132	15,278	15,266	15,413	15,401	15,549	15,536	15,685	15,672	15,822	\$ 295,415
Mental Health Tax		3,757	3,793	3,791	3,827	3,824	3,861	3,858	3,895	3,891	3,929	\$ 73,351
North Kansas City School District		245,268	247,629	247,442	249,821	249,626	252,023	251,821	254,236	254,025	256,458	\$ 4,788,286
State of Missouri		1,145	1,157	1,156	1,167	1,166	1,177	1,176	1,187	1,186	1,198	\$ 22,363
Total		\$ 326,025	\$ 329,163	\$ 328,915	\$ 332,077	\$ 331,818	\$ 335,004	\$ 334,735	\$ 337,946	\$ 337,666	\$ 340,899	\$ 6,364,875

Hotel Project		Tax Impact - PILOTS to Taxing Jurisdictions											
		Year 0	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	Year 11
		2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030
FIXED PILOT AMOUNT		\$ -	\$ 10,000	\$ 10,200	\$ 10,404	\$ 10,612	\$ 10,824	\$ 11,041	\$ 11,262	\$ 11,487	\$ 11,717	\$ 11,951	\$ 12,190
Taxing Jurisdictions													
Clay County - County Services	\$ -	251	256	261	266	272	277	283	288	294	300	306	
City of Gladstone	\$ -	1,088	1,110	1,132	1,155	1,178	1,201	1,225	1,250	1,275	1,300	1,326	
Handicap Tax	\$ -	138	141	144	147	150	153	156	159	162	165	168	
Health Tax	\$ -	115	118	120	122	125	127	130	132	135	138	140	
KCJC Tax	\$ -	270	275	281	286	292	298	304	310	316	323	329	
Library Tax	\$ -	464	473	483	493	502	512	523	533	544	555	566	
Mental Health Tax	\$ -	115	118	120	122	125	127	130	132	135	138	140	
North Kansas City School District	\$ -	7,523	7,673	7,827	7,983	8,143	8,306	8,472	8,642	8,815	8,991	9,171	
State of Missouri	\$ -	35	36	37	37	38	39	40	40	41	42	43	
Total	\$ -	\$ 10,000	\$ 10,200	\$ 10,404	\$ 10,612	\$ 10,824	\$ 11,041	\$ 11,262	\$ 11,487	\$ 11,717	\$ 11,951	\$ 12,190	

Hotel Project		Tax Impact - PILOTS to Taxing Jurisdictions									
		Year 12	Year 13	Year 14	Year 15	Year 16	Year 17	Year 18	Year 19	Year 20	
		2031	2032	2033	2034	2035	2036	2037	2038	2039	Total
FIXED PILOT AMOUNT		\$ 12,434	\$ 12,682	\$ 12,936	\$ 13,195	\$ 13,459	\$ 13,728	\$ 14,002	\$ 14,282	\$ 14,568	\$ 242,974
Taxing Jurisdictions											
Clay County - County Services		312	318	325	331	338	345	352	359	366	\$ 6,101
City of Gladstone		1,353	1,380	1,407	1,436	1,464	1,494	1,523	1,554	1,585	\$ 26,436
Handicap Tax		172	175	179	182	186	190	194	197	201	\$ 3,358
Health Tax		143	146	149	152	155	158	161	165	168	\$ 2,800
KCIC Tax		336	342	349	356	363	371	378	386	393	\$ 6,559
Library Tax		577	589	600	612	625	637	650	663	676	\$ 11,277
Mental Health Tax		143	146	149	152	155	158	161	165	168	\$ 2,800
North Kansas City School District		9,354	9,541	9,732	9,927	10,125	10,328	10,534	10,744	10,959	\$ 182,789
State of Missouri		44	45	45	46	47	48	49	50	51	\$ 854
Total		\$ 12,434	\$ 12,682	\$ 12,936	\$ 13,195	\$ 13,459	\$ 13,728	\$ 14,002	\$ 14,282	\$ 14,568	\$ 242,974

BILL NO. 19-30

ORDINANCE NO. 4.481

**AN ORDINANCE APPROVING THE PETITION TO ESTABLISH THE
LINDEN BLOCK 25 COMMUNITY IMPROVEMENT DISTRICT.**

WHEREAS, Sections 67.1401 to 67.1571 RSMo, 2000, as amended (the "**CID Act**"), authorize the governing body of any city, upon presentation of a proper petition requesting the formation and after a public hearing, to adopt an ordinance establishing a community improvement district; and

WHEREAS, the City of Gladstone, Missouri (the "**City**") is a city of the third class and a political subdivision of the State of Missouri, duly created, organized and existing under and by virtue of the Constitution and laws of the State of Missouri; and

WHEREAS, on July 11, 2019, property owners representing the necessary amount of assessed value and per capita numbers within the proposed Linden Block 25 Community Improvement District filed with the Clerk of the City (the "**City Clerk**") a petition for the establishment of a community improvement district pursuant to the CID Act (the "**Petition**"), entitled the Linden Block 25 Community Improvement District (the "**District**"); and

WHEREAS, the City Clerk verified that the Petition substantially complies with the CID Act, submitted the verified Petition to the City Council and set a public hearing with all proper notice being given in accordance with the CID Act or other applicable law; and

WHEREAS, none of the signatures of the signers of the Petition were withdrawn within seven days after the Petition was filed with the City Clerk; and

WHEREAS, all the real property included in the District is entirely located within the City; and

WHEREAS, on July 29, 2019, the City Council held a public hearing at which all persons interested in the formation of the District were allowed an opportunity to speak and at which time the City Council heard all protests and received all endorsements.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL FOR THE CITY OF GLADSTONE, MISSOURI, AS FOLLOWS:

SECTION 1. APPROVAL OF PETITION. That the Linden Block 25 Community Improvement District is hereby approved and shall be established within the City as a political subdivision of the State of Missouri, as provided in the Petition filed with the City Clerk on July 11, 2019 a copy of which is attached hereto as **Exhibit A** and incorporated herein by this reference.

SECTION 2. FINDING OF BLIGHT. Pursuant to Section 67.1401.2(3)(a) RSMo, the City Council finds and determines that the area described in the Petition is a blighted area based on information included in and testimony related to the blight study submitted with the Petition

and presented at the public hearing on July 29, 2019. The City Council further finds and determines that the use of District revenues related to the construction of the improvements and services described in the Petition are reasonably anticipated to remediate the blighting conditions within the District and will serve a public purpose.

SECTION 3. PURPOSE AND POWERS. That the District is hereby established for the purposes set forth in the petition; that the District shall have all the powers and authority authorized by the petition the Act, and by law; and that the District shall continue for twenty (20) years with additional ten (10) year terms subject to approval of the City Council and unless terminated in accordance with Missouri law.

SECTION 4. CITY REPORTING. That upon the effective date of this ordinance, the City Clerk is hereby directed to report the creation of the District to the Missouri Department of Economic Development pursuant to Section 67.1421.6 RSMo, by sending a copy of this ordinance to said agency.

SECTION 5. FURTHER AUTHORIZATION. That the City Manager, City Clerk and such other officials of the City may execute any other additional documents or take such other actions as are necessary, incidental or expedient to carry out the intent of this Ordinance approved and the authority granted herein.

SECTION 6. EFFECTIVE DATE. That this ordinance shall be in full force and effect from and after the date of its passage and approval.

INTRODUCED, PASSED, SIGNED, AND MADE EFFECTIVE BY THE CITY COUNCIL OF THE CITY OF GLADSTONE, MISSOURI, ON THIS 29TH DAY OF JULY, 2019.

Mayor Carol J. Suter

ATTEST:

Ruth E. Bocchino, City Clerk

First Reading: July 29, 2019

Second Reading: July 29, 2019



Request for Council Action

RES ☐ # City Clerk Only

BILL ☒ # 19-30

ORD ☒ # 4.481

Date: 7/24/2019

Department: General Administration

Meeting Date Requested: 07/29/19

Public Hearing: Yes ☒ Date: 7/29/2019

Subject: Approval of an Ordinance approving the Petition to establish the Linden Block 25 Community Improvement District.

Background: As part of the project associated with the construction of a hotel in the 6900 block of North Oak, the City of Gladstone (property owner) has petitioned for the establishment of the Linden Block 25 Community Improvement District, which will help fund the construction of certain improvements within the proposed district. Anticipated improvements to be carried out during the first five (5) years of the district include: construction, installation, reconstruction, and maintenance associated with public art, signage, landscaping, construction of retaining walls and fences, and legal costs associated with the formation of the proposed district.

Budget Discussion: Funds are budgeted in the amount of \$ 0 from the GENERAL fund. Ongoing costs are estimated to be \$ 0 annually. Previous years' funding was \$0

Public/Board/Staff Input: N/A

Provide Original Contracts, Leases, Agreements, etc. to: City Clerk

Bob Baer
Assistant City Manager

PC
City Attorney

SW
City Manager

Exhibit A

Petition to Establish the Linden Block 25 Community Improvement District

City Clerk Verification

Pursuant to Sections 67.1401 to 67.1571 of the Revised Statutes of Missouri (the "CID Act"), I, Ruth Bocchino, City Clerk of the City of Gladstone, Missouri, state the following:

1. A petition to form the Linden Block 25 Community Improvement District was filed with the City Clerk on July 11, 2019.
2. It has been determined on July 12, 2019, which does not exceed ninety days after receipt of the petition, that the petition substantially complies with the requirements of Section 67.1421.2 of the CID Act.
3. On July 11, 2019, I delivered the verified petition to the City Council of the City of Gladstone, Missouri.

Date:

July 12, 2019

Ruth Bocchino

Ruth Bocchino
City Clerk
City of Gladstone, Missouri

**NOTICE OF PUBLIC HEARING
LINDEN BLOCK 25 COMMUNITY IMPROVEMENT DISTRICT**

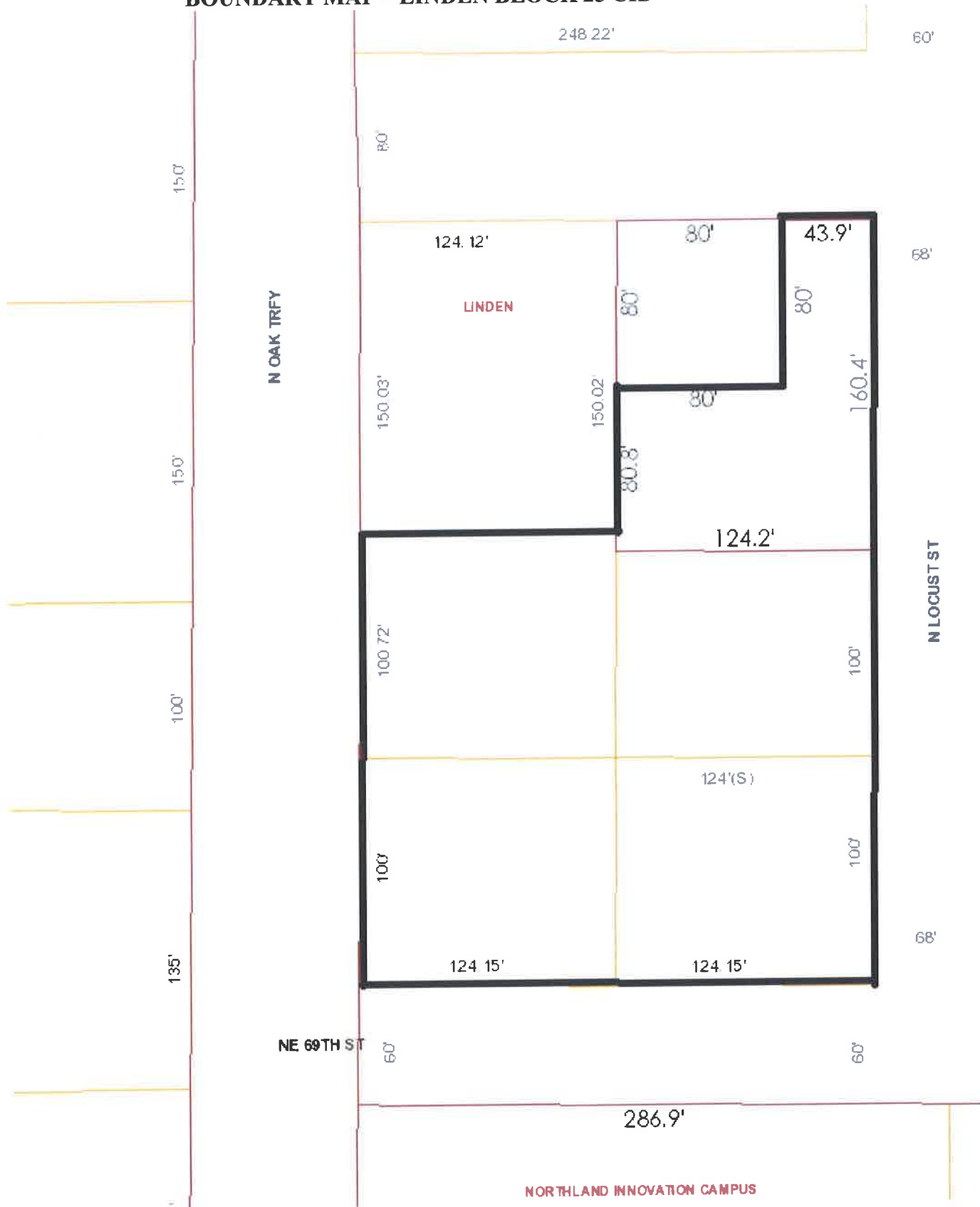
The City Council of the City of Gladstone, Missouri, will hold a public hearing during its meeting beginning at 7:00 p.m., on July 29, 2019, in the City Council Chambers at Gladstone City Hall, 7010 N. Holmes, Gladstone, Missouri 64118. The hearing is being held pursuant to the requirements of Section 67.1431 of the Revised Statutes of Missouri, as amended, regarding the establishment of the Linden Block 25 Community Improvement District herein described.

1. A petition for the establishment of the Linden Block 25 Community Improvement District has been filed with the Gladstone City Clerk.
2. The proposed district includes approximately 2 acres of land in an area located generally at the intersection of NE. 69th Street and N. Oak Trafficway. The boundaries of the proposed district are more specifically shown on the map attached hereto.
3. A copy of the petition is available for review at the office of the Gladstone City Clerk during regular business hours.
4. All interested persons shall be given an opportunity to be heard at the public hearing.



Ruth Bocchino
City Clerk
City of Gladstone, Missouri

BOUNDARY MAP – LINDEN BLOCK 25 CID



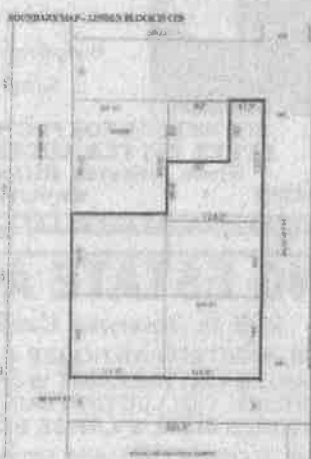
(Published in the Courier-Tribune Thurs., 7/18/19 & Thurs., 7/25/19)

**NOTICE OF PUBLIC HEARING
LINDEN BLOCK 25 COMMUNITY IMPROVEMENT DISTRICT**

The City Council of the City of Gladstone, Missouri, will hold a public hearing during its meeting beginning at **7:00 p.m., on July 29, 2019**, in the City Council Chambers at Gladstone City Hall, 7010 N. Holmes, Gladstone, Missouri 64118. The hearing is being held pursuant to the requirements of Section 67.1431 of the Revised Statutes of Missouri, as amended, regarding the establishment of the Linden Block 25 Community Improvement District herein described.

1. A petition for the establishment of the Linden Block 25 Community Improvement District has been filed with the Gladstone City Clerk.
2. The proposed district includes approximately 2 acres of land in an area located generally at the intersection of NE. 69th Street and N. Oak Trafficway. The boundaries of the proposed district are more specifically shown on the map attached hereto.
3. A copy of the petition is available for review at the office of the Gladstone City Clerk during regular business hours.
4. All interested persons shall be given an opportunity to be heard at the public hearing.

/s/ Ruth Bocchino
Ruth Bocchino
City Clerk
City of Gladstone, Missouri



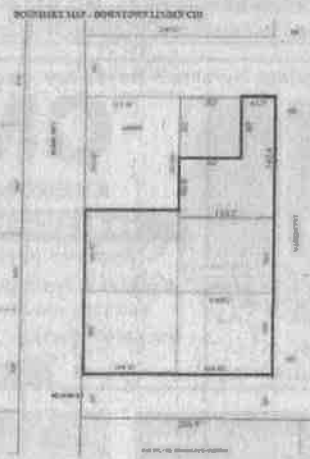
(Published in the Courier-Tribune Thurs., 7/18/19 & Thurs., 7/25/19)

**NOTICE OF PUBLIC HEARING
DOWNTOWN LINDEN COMMUNITY IMPROVEMENT DISTRICT**

The City Council of the City of Gladstone, Missouri, will hold a public hearing during its meeting beginning at **7:00 p.m., on July 29, 2019**, in the City Council Chambers at Gladstone City Hall, 7010 N. Holmes, Gladstone, Missouri 64118. The hearing is being held pursuant to the requirements of Section 67.1431 of the Revised Statutes of Missouri, as amended, regarding the establishment of the Downtown Linden Community Improvement District herein described.

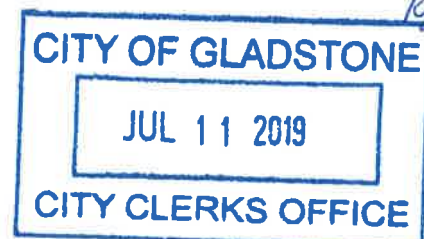
1. A petition for the establishment of the Downtown Linden Community Improvement District has been filed with the Gladstone City Clerk.
2. The proposed district includes approximately 2 acres of land in an area located generally at the intersection of NE. 69th Street and N. Oak Trafficway. The boundaries of the proposed district are more specifically shown on the map attached hereto.
3. A copy of the petition is available for review at the office of the Gladstone City Clerk during regular business hours.
4. All interested persons shall be given an opportunity to be heard at the public hearing.

/s/ Ruth Bocchino
Ruth Bocchino
City Clerk
City of Gladstone, Missouri



**PETITION TO THE CITY COUNCIL
OF THE CITY OF GLADSTONE, MISSOURI FOR THE CREATION OF
THE LINDEN BLOCK 25 COMMUNITY IMPROVEMENT DISTRICT**

Submitted July 11, 2019



**PETITION FOR THE CREATION OF
THE LINDEN BLOCK 25 COMMUNITY IMPROVEMENT DISTRICT**

Pursuant to the authority of the Community Improvement District Act (the "Act"), Sections 67.1401 through 67.1571, RSMo, this verified Petition is filed with the City Clerk of the City of Gladstone, Missouri (the "City") by the undersigned. The undersigned, collectively representing i) the property owners collectively owning more than fifty percent by assessed value of the real property within the boundaries of the proposed district; and ii) more than fifty percent per capita of all owners of real property within the boundaries of the proposed district, do hereby petition and request that the City Council of the City of Gladstone, Missouri create a community improvement district pursuant to Missouri law.

1. **Property Description.** The legal description of the proposed district is set forth in **Exhibit A-1** to this Petition and a map illustrating the contiguous boundaries of the District is set forth as **Exhibit A-2**. A list of the owners of all properties included within the boundaries of the proposed district as of the date of the filing of this Petition is attached hereto as **Exhibit B**.
2. **District Name.** The name of the proposed district shall be: Linden Block 25 Community Improvement District.
3. **Notice to Petitioner.** The signers of this Petition understand that their signatures may not be withdrawn from this Petition later than seven (7) days after this Petition is filed with the City Clerk.
4. **Purpose and Five Year Plan.** The proposed district will fund the construction of certain improvements within the proposed district (the "Improvements"). Anticipated improvements to be carried out during the first five (5) years of the district include: construction, installation, reconstruction, and maintenance associated with public art, signage, landscaping and construction of retaining walls and fences, and legal costs associated with the formation of the proposed district. The particular items included within the Improvements may be increased or amended from time to time and the costs of the Improvements to be financed by the proposed district shall include all associated design, architecture, engineering, financing, private interest carry, legal and administrative costs of same. At the time of the submission of the Petition, the anticipated cost of the Improvements is as follows:

ANTICIPATED IMPROVEMENT	PRELIMINARY ESTIMATED COST
Public Art	\$50,000
Signage	\$50,000
Landscaping and construction of retaining walls and fences	\$100,000
Legal Costs for Formation	\$50,000
Total Estimated Cost of Improvements	\$250,000

In addition to the Improvements, the District is authorized to provide all of those services authorized by the Act, including the maintenance of public improvements and public and private property within the District, and supporting business activity and economic development in the District, including, but not limited to, the promotion of business activity, development and retention, and recruitment of business. Such services shall only be paid by revenues of the district after the costs of improvements have been fully paid.

5. **Political Subdivision.** Petitioner requests the proposed district be created as a political subdivision of the State of Missouri.
6. **Governing Board.** Petitioner requests the proposed district be governed by a Board of Directors (the "Board") appointed by the Mayor of the City, with the consent of the City Council.
 - a. **Number.** The proposed district shall be governed by a Board of Directors ("Board") consisting of five (5) members
 - b. **Qualifications.** Each Member of the Board ("Director") shall meet the following requirements
 - i. be at least 18 years of age;
 - ii. be and must declare to either be an owner ("Owner") or an authorized representative of an Owner of real property within the District, an owner of a business ("Operator") or an authorized representative of such owner of a business operating within the District, or a registered voter ("Resident") residing within the District, as provided by the CID Act;
 - iii. be and have been a resident of the State of Missouri for at least one year immediately preceding the date upon which he or she takes office in accordance with Article VII, Section 8 of the Missouri Constitution; and
 - iv. except for the initial directors named in this Petition, be nominated according to the slate submitted as described in **Section 6, paragraph e** of the Petition.
 - c. **Initial Directors.** The initial Board of the proposed district shall be appointed by the Mayor with the consent of the City Council ("Initial Directors"). Two of the Initial Directors shall serve for four-year terms and the remaining three directors shall serve for two-year terms.
 - d. **Terms.** Each Initial Director shall serve until his/her successor is appointed in accordance with **Section 6, paragraph e** of the Petition. Each Successive Director shall serve a four (4) year term or until his/her successors is appointment in accordance with **Section 6, paragraph e** of the Petition. If, for any reason, a Director is not able to serve his/her term, the remaining directors shall elect an Interim Director to fill the vacancy of the unexpired term.

Notwithstanding anything to the contrary, any Director's failure to meet the qualification requirements of **Section 6, paragraph b** of the Petition, either in the Director's individual capacity or in a Director's representative capacity, shall constitute cause for the Board to take appropriate action to remove said Director.

- e. Successive Directors. Successor Directors shall be appointed by the Mayor with the consent of the City Council by resolution according to the slate submitted by the Executive Director of the District to the City of Gladstone, Missouri's City Clerk (the "City Clerk"). The slate of proposed Successive Directors shall evidence in a from satisfactory to the City that each Successor Director meets the qualifications to serve as Director pursuant to the CID Act and this Petition.

Upon receipt of the slate of Successor Directors, the City Clerk shall promptly deliver the slate to the Mayor, and the Mayor shall either (i) approve the slate and seek consent of same from the City Council at the next regular meeting of the City Council or (ii) return the slate to the Board with a request for alternates for any or all of the Boards positions identified in the slate.

Should the City Council refuse to consent to the slate submitted to it by the Mayor, it shall request alternatives for any or all Board positions identified on the slate, the Board shall within ten (10) days of such refusal submit an alternative slate to the mayor with two (2) alternates for each of the Board positions requested by the City Council.

Should the Mayor reject and return the slate to the Board, the Board shall within ten (10) days of such refusal submit an alternative slate to the mayor with two (2) alternates for each of the Board positions requested by the Mayor.

After receipt of the alternative slate, the Mayor shall either (i) choose from the alternate(s), approve the slate, and seek consent of the City Council at the next regular meeting of the City Council, or (ii) reject the alternative slate. In the event the Mayor rejects the alternative slate, Successor Directors that meet the qualifications of the CID Act and this Petition shall be appointed by the Mayor with the consent of the City Council.

7. Assessed Value of Property. The total assessed value of all real property within the proposed district is \$0.
8. Determination of Blight. Petitioner is seeking a determination of blight under Section 67.1401.2(3)(b), RSMo of the CID Act for property located within the District. In order for the District to be able to expend revenues pursuant to Section 67.1461.2(2), RSMo, this Petition seeks the City Council's determination that the use of District Revenues as described herein and pursuant to contracts to finance the demolition, removal, renovation, reconstruction and rehabilitation of existing structures within the District and related improvements and structures is reasonably anticipated to remediate the blighted conditions within the District and will serve a public purpose. A Blight Study conducted of the property is attached as **Exhibit C**.

9. **Duration of District.** The life of the District shall begin from the effective date of the ordinance establishing the District, and shall be in existence for twenty (20) years to fund improvements and services, provided however the District's life may be automatically continued for successive ten-year terms, until all of the project costs are satisfied, without having to submit a new petition subject to the condition precedent that the City Council shall not have adopted a resolution disallowing such continuation prior to the date upon which any successive term would have commenced unless sooner terminated in accordance with Section 67.1481, RSMo of the Act. .
10. **Real Property Taxes.** The proposed district will not have the power to impose a real property tax or a business license tax.
11. **Special Assessments.** The proposed district will not have the power to impose special assessments.
12. **Sales Taxes.** Qualified voters of the proposed district may be asked to approve a sales tax of up to one percent (1%), in accordance with the CID Act, to fund certain improvements within the proposed district and/or to pay the costs of services provided by the proposed district.
13. **Borrowing Capacity.** Petitioner does not seek limitations on the borrowing capacity of the proposed district.
14. **Revenue Generation.** Petitioner does not seek limitations on the revenue generation of the proposed district.
15. **Powers of District.** Petitioner does not seek limitations on the powers of the proposed district.

Exhibit A-1

The legal description of the proposed district

LOTS 4, 5, 6, 7, 8, 9, 10, 11 AND S. 10.72 FEET OF LOT 12, BLOCK 25, LINDEN SUBDIVISION.

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 1, BLOCK 25, LINDEN SUBDIVISION; THENCE S. $89^{\circ} 37'44''$ E. ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 80.00 FEET TO THE POINT OF BEGINNING OF SAID TRACT OF LAND; THENCE CONTINUING ALONG SAID NORTH LINE OF S. $89^{\circ} 37'44''$ E, A DISTANCE OF 43.91 FEET TO THE NORTHEAST CORNER OF SAID LOT 1; THENCE ALONG THE EAST LINE OF SAID LOTS 1, 2 AND 3 S. $00^{\circ} 25'15''$ W., A DISTANCE OF 160.38 FEET TO THE SOUTHEAST CORNER OF SAID LOT 3; THENCE ALONG THE SOUTH LINE OF SAID LOT 3 N. $89^{\circ} 50'09''$ W., A DISTANCE OF 124.17 FEET TO THE SOUTHWEST CORNER OF SAID LOT 3; THENCE ON THE WEST LINE OF SAID LOTS 2 AND 3 N. $00^{\circ} 30'41''$ E., A DISTANCE OF 80.83 FEET; THENCE PARALLEL WITH THE WEST LINE OF SAID LOTS 1,2, AND 3 N. $00^{\circ} 30'41''$ E., A DISTANCE OF 80.00 FEET TO THE POINT OF BEGINNING, BEING TRACT 2 AS SHOWN ON THE CERTIFICATE OF SURVEY RECORDED DECEMBER 7, 2016 AS DOCUMENT NO. 2016043750 IN BOOK H, PAGE 177.

Map illustrating the contiguous boundaries of the proposed district

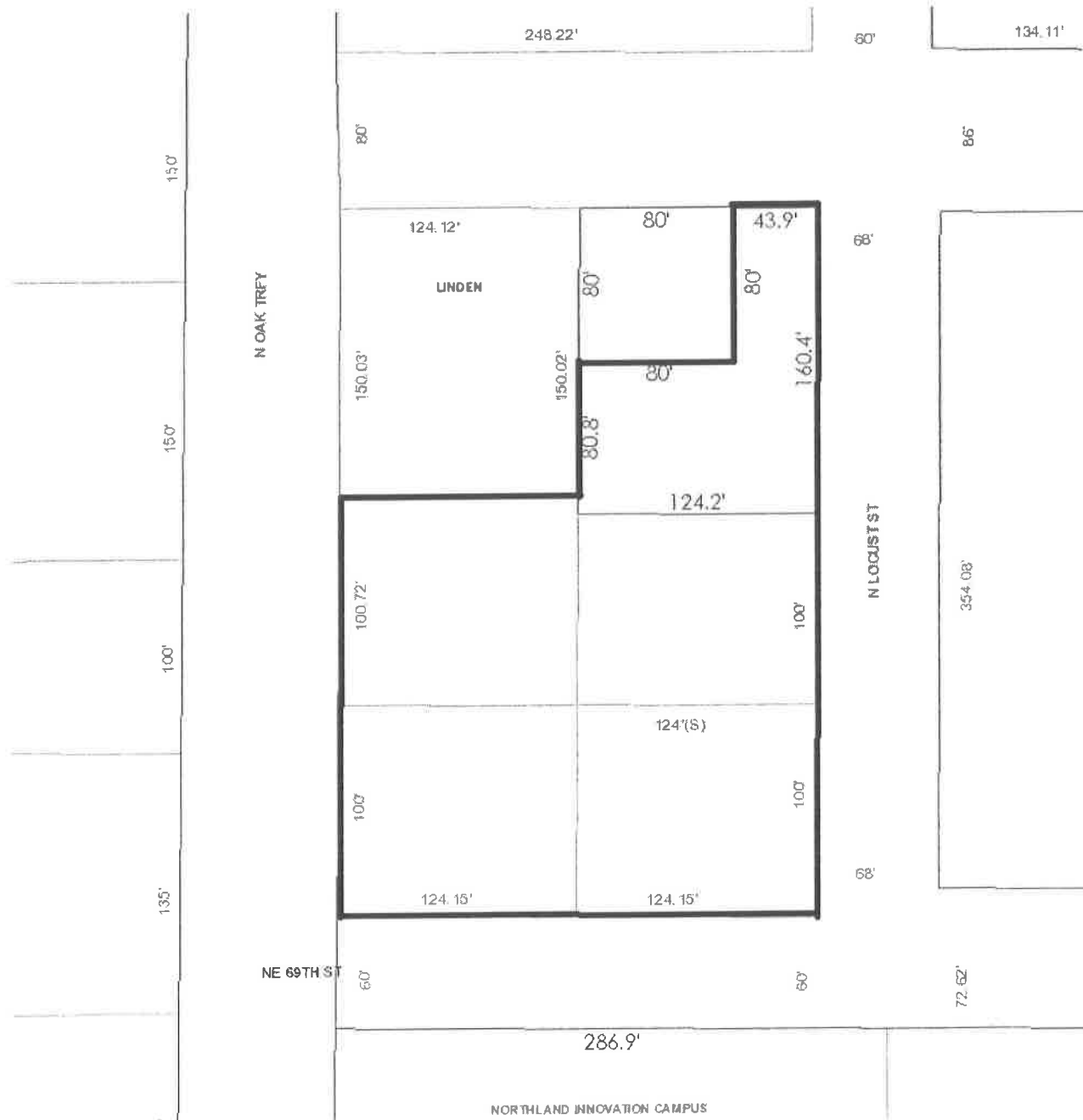


Exhibit B

**A list of the owners of all properties included within the boundaries of the proposed district
as of the date of the filing of this Petition**

Parcel #	Owner
13164002500200	City of Gladstone, Missouri
13614002500300	City of Gladstone, Missouri
13614002500400	City of Gladstone, Missouri
13614002500500	City of Gladstone, Missouri

Signature Page for Petition to the City of Gladstone, Missouri for Establishment of the Linden Block 25 Community Improvement District

The undersigned requests that the City Council of the City of Gladstone, Clay County, Missouri, establish the Linden Block 25 Community Improvement District according to the preceding Petition and authorize the creation of the District.

Name of Owner:	City of Gladstone
Owner's Telephone Number:	(816) 436-2200
Owner's Mailing Address:	7010 N. Holmes
	Gladstone, Missouri 64118
Name of Signer:	Scott Wingerson
Basis of Legal Authority to Sign:	City Manager
Signer's Telephone Number:	Same as above
Signer's Mailing Address:	Same as above

The map, parcel number and assessed value of each tract of real property within the proposed District owned: The District will contain all or a limited portion of the following parcels:

<u>Address</u>	<u>Map/Parcel I.D.</u>	<u>Assessed Value</u>
6915 N. Oak Trafficway	13614002500200	\$0
6901 N. Oak Trafficway	13614002500300	\$0
6902 N. Locust Street	13614002500400	\$0
6906 N. Locust Street	13614002500500	\$0
Total		\$0

[SIGNATURE AND NOTARY PAGES TO FOLLOW]

By executing this Petition, the undersigned represents and warrants that he/she has received a copy of this Petition and its exhibits, has read this Petition and its exhibits, is authorized to execute this Petition on behalf of the property owner named immediately above, and authorizes this signature page to be attached to the original of this Petition to be filed in the Office of the City Clerk. The undersigned also acknowledges that his/her signature may not be withdrawn later than seven days after this Petition is filed with the City Clerk.

City of Gladstone, Missouri
a Third-Class City in Clay County, Missouri

By: 

Name: Scott Wingerson


Title: City Manager

Date: July 11, 2019

STATE OF mo.)
)
COUNTY OF Clay) SS.

BE IT REMEMBERED, that on this 11 day of July, 2019 before me, the undersigned, a Notary Public in and for the County and State aforesaid, came Scott Wingerson, the City Manager of the City of Gladstone Missouri, who executed the foregoing instrument on behalf of said City and he duly acknowledged the execution of the same to be the act and deed of said City.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal in the City and State aforesaid, the day and year first above written.


Notary Public

My Commission Expires:

11-11-22

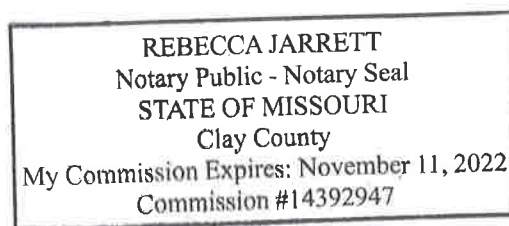


Exhibit C

Blight Study Attached

Downtown Gladstone Hotel

Blight Study

Summary Findings

The following is a study of a site, further described in this study, in the City of Gladstone, Missouri (the "City"). This study seeks to determine whether the subject site is blighted under the definition set forth in Section 67.1401.2(3) Revised Statutes of Missouri, which defines "Blighted Area" in part as:

an area which by reason of the predominance of defective or inadequate street layout, insanitary or unsafe conditions, deterioration of site improvements, improper subdivision or obsolete platting, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, retards the provision of housing accommodations or constitutes an economic or social liability or a menace to the public health, safety, morals or welfare in its present condition and use

As determined by this study, it is the opinion of the City of Gladstone Department of Community Development that the subject property is a "blighted area" as set forth in the above definition. The primary blighting factors are:

- Unsanitary or unsafe conditions
- Deterioration of site improvements
- The existence of conditions which endanger life or property by fire or other causes
- Problematic topography conditions

The presence of the blighting conditions listed above creates an economic and social liability for the City, in that the presence of the blighting factors lower property values, increase public costs, and lower tax revenues. Vacancies and underdevelopment hinder economic opportunities available to the area and the City, and limits the funds available to address routine maintenance and repair which in turn, creates a cycle of blight throughout the area. Statistically, a failure to maintain property substantially increases public maintenance costs. The site (also referred to herein as the "Redevelopment Area") is socially and economically underutilized and fails to generate adequate taxes for the applicable taxing districts.

The blighting conditions of the identified property lower property values, lower taxes, increase maintenance costs, and increase the likelihood of crime, all of which create a menace to public health, safety, and welfare to the community.

Introduction

Identification of the Redevelopment Area

The study area is comprised of three parcels that contain 1.56 acres. The study area is presently zoned commercial with uses as vacant land, a building formerly known as Santé Fe Glass, which was demolished in late 2018 after lying vacant, and a cash loan business that has been demolished as of May 2019. The demolition of these sites were in response to public perception of our developing downtown as well as both sites attracting a homeless and vagrant population that resulted in the Gladstone Police being called to the site(Please see the attached police report). The site is located at the Northeast corner block of NE 69th Street and North Oak Trafficway, Gladstone, Clay County, Missouri.

Identification of the Problem

Purpose

The purpose of this blight study is to investigate and determine if blight conditions exist in the proposed study area according to the Missouri Community Development Improvement District (CID) statutes.

Definition

RSMO 67.1401 – “Blighted Area”: an area which (a) By reason of the predominance of defective or inadequate street layout, unsanitary or unsafe conditions, deterioration of site improvements, improper subdivision or obsolete platting, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, retards the provision of housing accommodations or constitutes an economic or social liability or a menace to the public health, safety, morals or welfare in its present condition and use; or

(b) Has been declared blighted or found to be a blighted area pursuant to Missouri law including, but not limited to, chapter 353, sections 99.800 to 99.865, or sections 99.300 to 99.715.

Effective Date

The effective date of this Blight Study is May 2019. A comparison of the date of this report to the effective date indicates that the conclusions are reflective of current market conditions.

Use or Function

This Blight Study was prepared for the sole and exclusive use of the City of Gladstone to assist in determining if the Study Area is eligible for designation as a blighted area if it is placed in a Community Improvement District.

Sources of Information

Market data was obtained from a variety of sources, including the following:

- City of Gladstone Public Safety Records Management System
- Clay County, Recorder of Deeds
- City of Gladstone, Geographic Information Systems

Land Use

Area land use is zoned commercial and mixed-use

Predominant Quality and Condition	Poor to Average
Life Cycle Stage	Declining
Immediate Surrounding Land Use:	
North	Commercial
South	Commercial
East	Mixed – Use
West	Commercial

Property Data

Site Description

Identification

Location	NE 69th St. & N. Oak Trafficway NE 70 th St. & N. Locust St.
Parcel ID Numbers	13614002500200 13614002500300 13614002500400 13614002500500 13614002500800

Physical Features

Size (Acres)	Five Parcels Combined = 1.56 acres
Topography	Poor to Average – Borehole report states limestone found 7 ft. - 15 ft. below surface depending on location on the property
Configuration	L Shape
Drainage	Not provided
Flood Plain	Not provided

Streets, Access, & Frontage (Southwest Corner)

Street	N. Oak Trafficway	NE 69 th & NE 70 th St.
Frontage	Yes	No
Paving	Asphalt/Concrete	Asphalt/Concrete
Curb/Gutter	Yes	Yes
Sidewalks	Yes	Yes
Lanes	4 - Lanes	2 - Lanes
Direction of Traffic	North/South	East/West
Condition	Good	Good
Traffic Level	Moderate	Light
Signals/Traffic Control	Signal on corner of N. Oak Trafficway and NE 70 th St.	Stop Signs
Access	Full	Full
Visibility	Good	Good

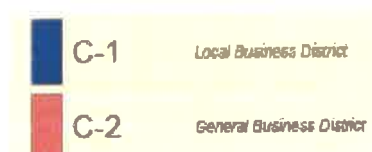
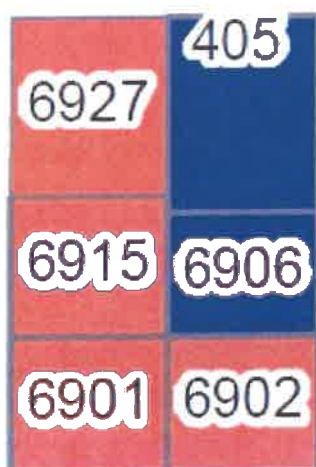
Legal

Zoning	13614002500200	C-2	General Business District
Designation – Commercial	13614002500300	C-2	General Business District
Prevailing Uses – Commercial	13614002500400	C-2	General Business District
	13614002500500	C-1	Local Business District
	13614002500800	C-1	Local Business District
Conformance	Existing Improvements are Conforming		

Utilities

Adequate utilities including water, sewer, electricity, fiber (Internet) and gas are available and in place in the Redevelopment Area.

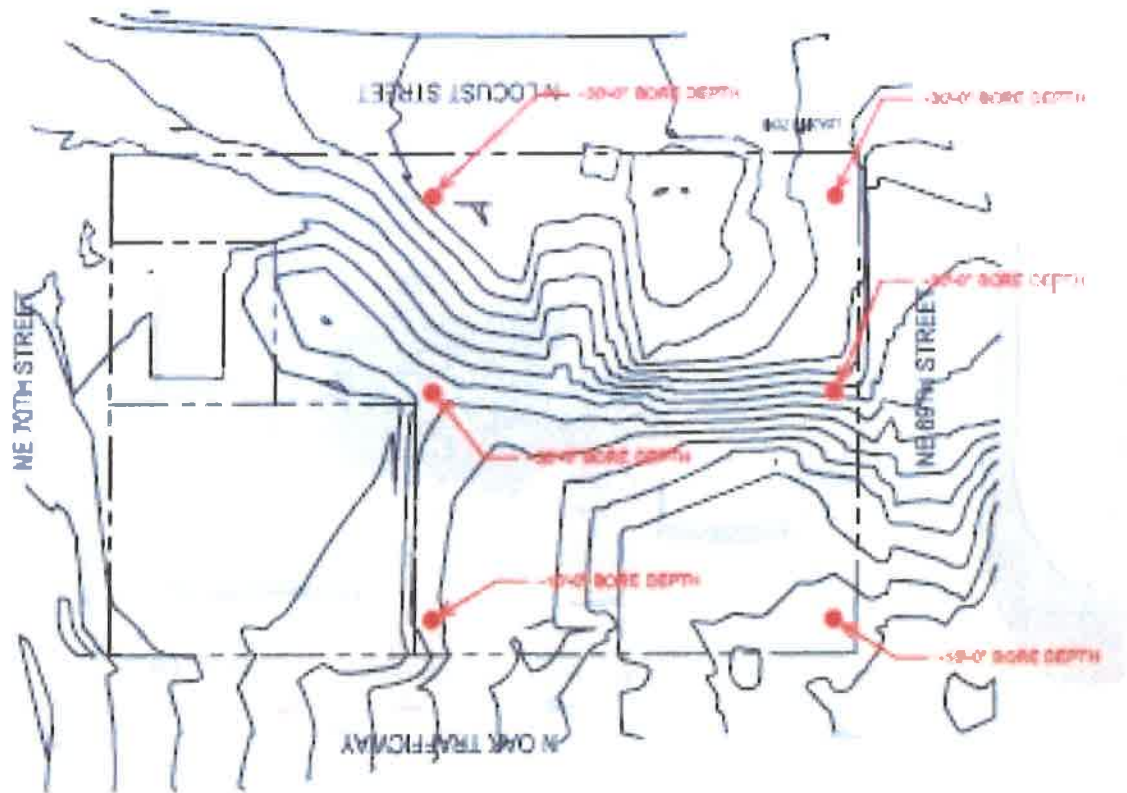
Zoning Map



Aerial/Parcel Map/Existing Site Layout –Google Maps Satellite, Accessed April 30, 2019



Topography & Geotech Survey – Olsson Associates Borehole Report is attached



*Graphic indicates a significant limestone shelf

Improvement Description

Description of the Redevelopment Area is based on physical inspection.

General

Design/Use	Buildings are/were single tenant use - Lend Nation (Demolition Complete May 2019) - Santa Fe Glass (Demolition Complete in 2018) Vacant land/Parking Lot
Year Built	Not Provided
Building Sizes (sq. ft.)	Approximately 2,500 – 5,000 sq. ft. per building
Configuration	Small dilapidated properties adjacent to major economic corridor
Tenant/Building Spaces	Single tenant spaces/buildings
Building Heights	Not Provided – Single Story Commercial

Improvement Analysis – Lend Nation (Current) & Santa Fe Glass (Previous)

Condition/Deferred Maintenance	Poor
Functional Utility	Poor

Subject Photos

Lend Nation (Demolished as of May 2019)









Subject Photos

Vacant & Underutilized Land (Problematic Topography Conditions)



Subject Photos

Sante Fe Glass (Demolished in 2018)









Findings Supporting a Finding of Blight

There are many indications of water issues within and around the building structures. Rotting wood, due to water infiltration, has softened wood which would indicate a high probability that termites are present.

Several instances of electrical wires not being properly contained were found at the site. These included open junction boxes and exposed wiring in areas located where water infiltration was observed. The site lacks a consistent maintenance program and appear to only be addressed when nuisances are noted by the city.

The topography of the land is problematic due to a limestone shelf identified by Olsson Associates when they conducted a geotechnical study (Borehole Report). This report concludes that weathered limestone can be found 7 ft. to 15 ft. below the surface depending on where the borehole was conducted. This discovery makes development more costly and difficult to navigate.

The Study Area is characterized by:

- Deteriorated parking lots (concrete & asphalt)
- Deteriorating structures
- Inadequate street/parking areas
- Water infiltration
- Wood rot
- Exposed electrical wires and junction boxes
- Holes in various spots of the structure
- Faded and peeling paint
- Fencing in disrepair around dumpster enclosure
- Problematic topography conditions due to a limestone shelf
- Broken windows
- Trash/Rubbish
- Unmaintained trees/brush

Blight Defined & Conclusion

As presented earlier, Section 67.1401 RSMo of Missouri's Community Improvement Act Statute defines "blighted area" as follows:

(a) By reason of the predominance of defective or inadequate street layout, unsanitary or unsafe conditions, deterioration of site improvements, improper subdivision or obsolete platting, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, retards the provision of housing accommodations or constitutes an economic or social liability or a menace to the public health, safety, morals or welfare in its present condition and use; or

(b) Has been declared blighted or found to be blighted area pursuant to Missouri law including, but not limited to, chapter 353, sections 99.800 to 99.865, or sections 99.300 to 99.715.

As determined by the following study, it is the opinion of the City of Gladstone Community Development Department that the subject property is a “blighted area” as defined in Section 67.1401 of the Revised Statutes of Missouri. The primary blighting factors are:

1. Unsanitary or Unsafe Conditions: The site is predominately a wood structure with substantial damage along with significant water infiltration, which has resulted in peeling paint, indications of mold growth, and rotting structural members.
2. Deterioration of Site Improvements: Due to age and location, many of the improvements constructed within the study area have deteriorated and are obsolete and have surpassed their useful life. The study area is characterized by:
 - Deteriorated and inadequate parking lots
 - Crumbling parking lot structures
 - Deteriorating building structures
 - Outmoded parking areas that are not properly marked
3. The existence of conditions which endanger life or property by fire or other causes: The presence of dangling and open electrical wires, weakening structural members and crumbling concrete/asphalt increases the likelihood of personal injury and endangers the property. The instance that occurred on March 21, 2019, where a police report was filed for an unlawful trespass and destruction of property that transpired at 6915 North Oak Trafficway, Gladstone, MO (Police report is attached).
4. The problematic topography in regard to the limestone shelf found 7ft. to 15 ft. under the surface can make multi-story development more costly and difficult to circumvent.

The presence of the blighting conditions discussed above, in relation to our developing downtown, creates an economic and social liability for the City, in that the presence of the blighting factors lower property values, increase public costs, and lower tax revenues. Deterioration of commercial property stunts potential development and income available, not only to the subject site, but also to the area surrounding the study area. This further limits the ability of the study area to make improvements, address needed maintenance issues, and creates a cycle of blighting influences for the entire area. Failure to maintain this property, next to a primary economic corridor, increases public maintenance costs.

The blighting condition lowers property values, lowers taxes, increases maintenance costs and increases the likelihood of crime, all of which creates a menace to the public health, safety, and welfare of the community.

**AN ORDINANCE APPROVING THE PETITION TO ESTABLISH THE
DOWNTOWN LINDEN COMMUNITY IMPROVEMENT DISTRICT.**

WHEREAS, Sections 67.1401 to 67.1571 RSMo, 2000, as amended (the "**CID Act**"), authorize the governing body of any city, upon presentation of a proper petition requesting the formation and after a public hearing, to adopt an ordinance establishing a community improvement district; and

WHEREAS, the City of Gladstone, Missouri (the "**City**") is a city of the third class and a political subdivision of the State of Missouri, duly created, organized and existing under and by virtue of the Constitution and laws of the State of Missouri; and

WHEREAS, on July 11, 2019, property owners representing the necessary amount of assessed value and per capita numbers within the proposed Downtown Linden Community Improvement District filed with the Clerk of the City (the "**City Clerk**") a petition for the establishment of a community improvement district pursuant to the CID Act (the "**Petition**"), entitled the Downtown Linden Community Improvement District (the "**District**"); and

WHEREAS, the City Clerk verified that the Petition substantially complies with the CID Act, submitted the verified Petition to the City Council and set a public hearing with all proper notice being given in accordance with the CID Act or other applicable law; and

WHEREAS, none of the signatures of the signers of the Petition were withdrawn within seven days after the Petition was filed with the City Clerk; and

WHEREAS, all the real property included in the District is entirely located within the City; and

WHEREAS, on July 29, 2019, the City Council held a public hearing at which all persons interested in the formation of the District were allowed an opportunity to speak and at which time the City Council heard all protests and received all endorsements.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL FOR THE CITY OF GLADSTONE, MISSOURI, AS FOLLOWS:

SECTION 1. APPROVAL OF PETITION. That the Downtown Linden Community Improvement District is hereby approved and shall be established within the City as a political subdivision of the State of Missouri, as provided in the Petition filed with the City Clerk on July 11, 2019 a copy of which is attached hereto as **Exhibit A** and incorporated herein by this reference.

SECTION 2. FINDING OF BLIGHT. Pursuant to Section 67.1401.2(3)(a) RSMo, the City Council finds and determines that the area described in the Petition is a blighted area based on information included in and testimony related to the blight study submitted with the Petition

and presented at the public hearing on July 29, 2019. The City Council further finds and determines that the use of District revenues related to the construction of the improvements and services described in the Petition are reasonably anticipated to remediate the blighting conditions within the District and will serve a public purpose.

SECTION 3. PURPOSE AND POWERS. That the District is hereby established for the purposes set forth in the petition; that the District shall have all the powers and authority authorized by the petition the Act, and by law; and that the District shall continue for twenty (20) years with additional ten (10) year terms subject to approval of the City Council and unless terminated in accordance with Missouri law.

SECTION 4. CITY REPORTING. That upon the effective date of this ordinance, the City Clerk is hereby directed to report the creation of the District to the Missouri Department of Economic Development pursuant to Section 67.1421.6 RSMo, by sending a copy of this ordinance to said agency.

SECTION 5. FURTHER AUTHORIZATION. That the City Manager, City Clerk and such other officials of the City may execute any other additional documents or take such other actions as are necessary, incidental or expedient to carry out the intent of this Ordinance approved and the authority granted herein.

SECTION 6. EFFECTIVE DATE. That this ordinance shall be in full force and effect from and after the date of its passage and approval.

INTRODUCED, PASSED, SIGNED, AND MADE EFFECTIVE BY THE CITY COUNCIL OF THE CITY OF GLADSTONE, MISSOURI, ON THIS 29TH DAY OF JULY, 2019.

Mayor Carol J. Suter

ATTEST:

Ruth E. Bocchino, City Clerk

First Reading: July 29, 2019

Second Reading: July 29, 2019



Request for Council Action

RES ☐ # City Clerk Only

BILL ☒ # 19-31

ORD ☒ # 4.482

Date: 7/24/2019

Department: General Administration

Meeting Date Requested: 07/29/19

Public Hearing: Yes ☒ Date: 7/29/2019

Subject: Approval of an Ordinance approving the Petition to establish the Downtown Linden Community Improvement District.

Background: As part of the project associated with the construction of a hotel in the 6900 block of North Oak, the City of Gladstone (property owner) has petitioned for the establishment of the Downtown Linden Community Improvement District, which will help fund the construction of certain improvements within the proposed district. Anticipated improvements to be carried out during the first five (5) years of the district include: construction, installation, reconstruction, and maintenance associated with public art, signage, landscaping, construction of retaining walls and fences, and legal costs associated with the formation of the proposed district.

Budget Discussion: Funds are budgeted in the amount of \$ 0 from the GENERAL fund. Ongoing costs are estimated to be \$ 0 annually. Previous years' funding was \$0

Public/Board/Staff Input: N/A

Provide Original Contracts, Leases, Agreements, etc. to: City Clerk

Bob Baer
Assistant City Manager

PC
City Attorney

SW
City Manager

Exhibit A

Petition to Establish the Downtown Linden Community Improvement District

City Clerk Verification

Pursuant to Sections 67.1401 to 67.1571 of the Revised Statutes of Missouri (the "CID Act"), I, Ruth Bocchino, City Clerk of the City of Gladstone, Missouri, state the following:

1. A petition to form the Downtown Linden Community Improvement District was filed with the City Clerk on July 11, 2019.
2. It has been determined on July 12, 2019, which does not exceed ninety days after receipt of the petition, that the petition substantially complies with the requirements of Section 67.1421.2 of the CID Act.
3. On July 11, 2019, I delivered the verified petition to the City Council of the City of Gladstone, Missouri.

Date:

July 12, 2019

Ruth Bocchino

Ruth Bocchino
City Clerk
City of Gladstone, Missouri

**NOTICE OF PUBLIC HEARING
DOWNTOWN LINDEN COMMUNITY IMPROVEMENT DISTRICT**

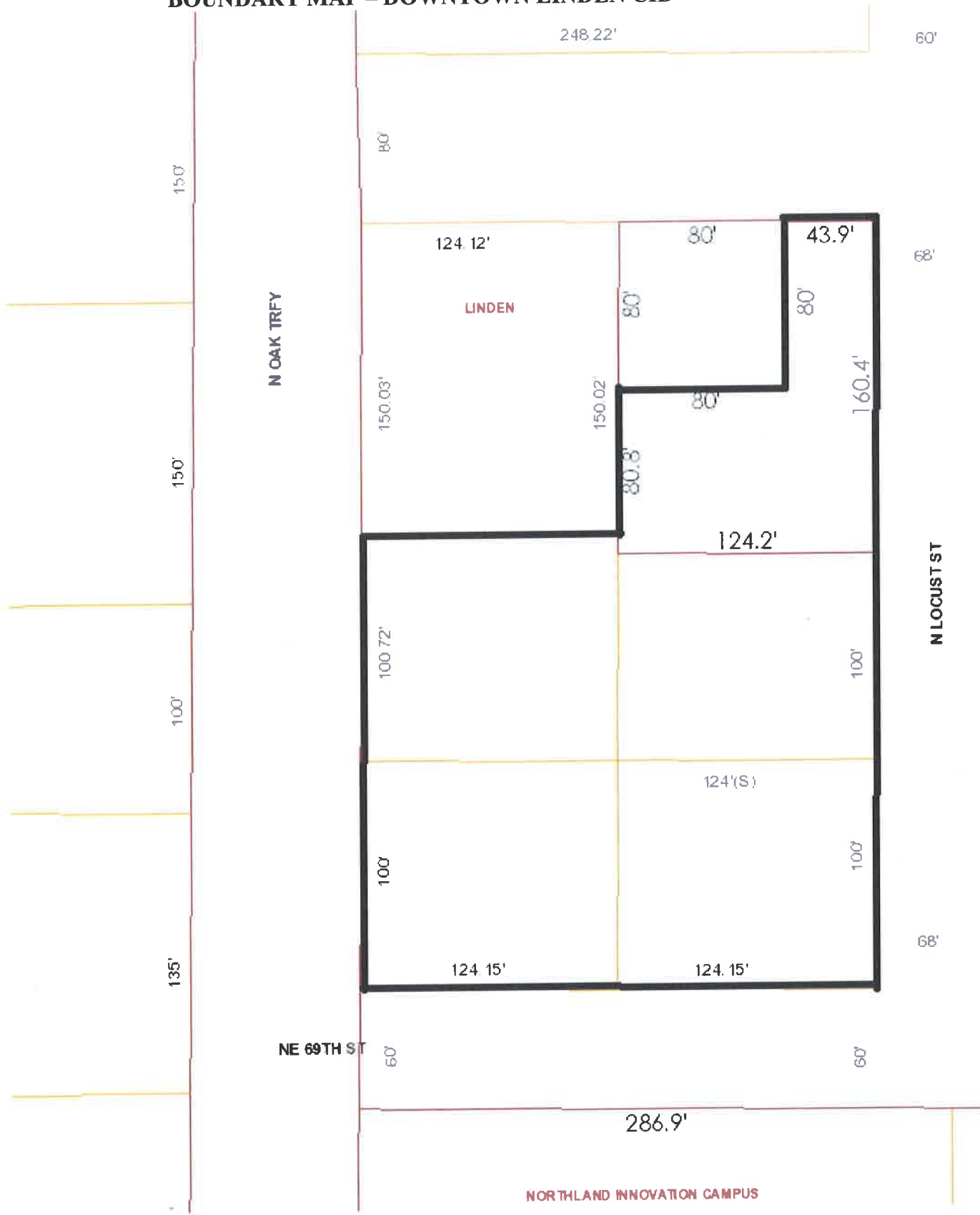
The City Council of the City of Gladstone, Missouri, will hold a public hearing during its meeting beginning at 7:00 p.m., on July 29, 2019, in the City Council Chambers at Gladstone City Hall, 7010 N. Holmes, Gladstone, Missouri 64118. The hearing is being held pursuant to the requirements of Section 67.1431 of the Revised Statutes of Missouri, as amended, regarding the establishment of the Downtown Linden Community Improvement District herein described.

1. A petition for the establishment of the Downtown Linden Community Improvement District has been filed with the Gladstone City Clerk.
2. The proposed district includes approximately 2 acres of land in an area located generally at the intersection of NE. 69th Street and N. Oak Trafficway. The boundaries of the proposed district are more specifically shown on the map attached hereto.
3. A copy of the petition is available for review at the office of the Gladstone City Clerk during regular business hours.
4. All interested persons shall be given an opportunity to be heard at the public hearing.



Ruth Bocchino
City Clerk
City of Gladstone, Missouri

BOUNDARY MAP – DOWNTOWN LINDEN CID



(Published in the Courier-Tribune Thurs., 7/18/19 & Thurs., 7/25/19)

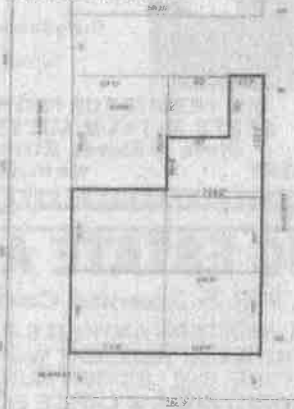
**NOTICE OF PUBLIC HEARING
LINDEN BLOCK 25 COMMUNITY IMPROVEMENT DISTRICT**

The City Council of the City of Gladstone, Missouri, will hold a public hearing during its meeting beginning at **7:00 p.m., on July 29, 2019**, in the City Council Chambers at Gladstone City Hall, 7010 N. Holmes, Gladstone, Missouri 64118. The hearing is being held pursuant to the requirements of Section 67.1431 of the Revised Statutes of Missouri, as amended, regarding the establishment of the Linden Block 25 Community Improvement District herein described.

1. A petition for the establishment of the Linden Block 25 Community Improvement District has been filed with the Gladstone City Clerk.
2. The proposed district includes approximately 2 acres of land in an area located generally at the intersection of NE. 69th Street and N. Oak Trafficway. The boundaries of the proposed district are more specifically shown on the map attached hereto.
3. A copy of the petition is available for review at the office of the Gladstone City Clerk during regular business hours.
4. All interested persons shall be given an opportunity to be heard at the public hearing.

/s/ Ruth Bocchino
Ruth Bocchino
City Clerk
City of Gladstone, Missouri

BOUNDARY MAP - LINDEN BLOCK 25 CIO



(Published in the Courier-Tribune Thurs., 7/18/19 & Thurs., 7/25/19)

**NOTICE OF PUBLIC HEARING
DOWNTOWN LINDEN COMMUNITY IMPROVEMENT DISTRICT**

The City Council of the City of Gladstone, Missouri, will hold a public hearing during its meeting beginning at **7:00 p.m., on July 29, 2019**, in the City Council Chambers at Gladstone City Hall, 7010 N. Holmes, Gladstone, Missouri 64118. The hearing is being held pursuant to the requirements of Section 67.1431 of the Revised Statutes of Missouri, as amended, regarding the establishment of the Downtown Linden Community Improvement District herein described.

1. A petition for the establishment of the Downtown Linden Community Improvement District has been filed with the Gladstone City Clerk.
2. The proposed district includes approximately 2 acres of land in an area located generally at the intersection of NE. 69th Street and N. Oak Trafficway. The boundaries of the proposed district are more specifically shown on the map attached hereto.
3. A copy of the petition is available for review at the office of the Gladstone City Clerk during regular business hours.
4. All interested persons shall be given an opportunity to be heard at the public hearing.

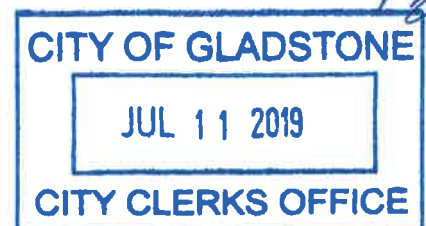
/s/ Ruth Bocchino
Ruth Bocchino
City Clerk
City of Gladstone, Missouri

BOUNDARY MAP - DOWNTOWN LINDEN CIO



**PETITION TO THE CITY COUNCIL
OF THE CITY OF GLADSTONE, MISSOURI FOR THE CREATION OF
THE DOWNTOWN LINDEN COMMUNITY IMPROVEMENT DISTRICT**

Submitted July 11, 2019



PETITION FOR THE CREATION OF THE DOWNTOWN LINDEN COMMUNITY IMPROVEMENT DISTRICT

Pursuant to the authority of the Community Improvement District Act (the "Act"), Sections 67.1401 through 67.1571, RSMo, this verified Petition is filed with the City Clerk of the City of Gladstone, Missouri (the "City") by the undersigned. The undersigned, collectively representing i) the property owners collectively owning more than fifty percent by assessed value of the real property within the boundaries of the proposed district; and ii) more than fifty percent per capita of all owners of real property within the boundaries of the proposed district, do hereby petition and request that the City Council of the City of Gladstone, Missouri create a community improvement district pursuant to Missouri law.

1. **Property Description.** The legal description of the proposed district is set forth in **Exhibit A-1** to this Petition and a map illustrating the contiguous boundaries of the District is set forth as **Exhibit A-2**. A list of the owners of all properties included within the boundaries of the proposed district as of the date of the filing of this Petition is attached hereto as **Exhibit B**.
2. **District Name.** The name of the proposed district shall be: Downtown Linden Community Improvement District.
3. **Notice to Petitioners.** The signers of this Petition understand that their signatures may not be withdrawn from this Petition later than seven (7) days after this Petition is filed with the City Clerk.
4. **Purpose and Five Year Plan.** A five-year plan stating a description of the purposes of the proposed district, the services it will provide, the improvements it will make and an estimate of costs of these services and improvements to be incurred is attached hereto as **Exhibit C**.
5. **Political Subdivision.** Petitioner requests the proposed district be created as a political subdivision of the State of Missouri.
6. **Governing Board.** Petitioner requests the proposed district be governed by a Board of Directors (the "Board") appointed by the Mayor of the City, with the consent of the City Council.
 - a. **Number.** The proposed district shall be governed by a Board of Directors ("Board") consisting of five (5) members
 - b. **Qualifications.** Each Member of the Board ("Director") shall meet the following requirements
 - i. be at least 18 years of age;
 - ii. be and must declare to either be an owner ("Owner") or an authorized representative of an Owner of real property within the District, an owner of a business ("Operator") or an authorized representative of such owner

Should the Mayor reject and return the slate to the Board, the Board shall within ten (10) days of such refusal submit an alternative slate to the mayor with two (2) alternates for each of the Board positions requested by the Mayor.

After receipt of the alternative slate, the Mayor shall either (i) choose from the alternate(s), approve the slate, and seek consent of the City Council at the next regular meeting of the City Council, or (ii) reject the alternative slate. In the event the Mayor rejects the alternative slate, Successor Directors that meet the qualifications of the CID Act and this Petition shall be appointed by the Mayor with the consent of the City Council.

7. **Assessed Value of Property.** The total assessed value of all real property within the proposed district is \$0.
8. **Determination of Blight.** Petitioner is seeking a determination of blight under Section 67.1401.2(3)(b), RSMo of the CID Act for property located within the District. In order for the District to be able to expend revenues pursuant to Section 67.1461.2(2), RSMo, this Petition seeks the City Council's determination that the use of District Revenues as described herein and pursuant to contracts to finance the demolition, removal, renovation, reconstruction and rehabilitation of existing structures within the District and related improvements and structures is reasonably anticipated to remediate the blighted conditions within the District and will serve a public purpose. A Blight Study conducted of the property is attached as **Exhibit E**.
9. **Duration of District.** The life of the District shall begin from the effective date of the ordinance establishing the District, and shall be in existence for twenty (20) years to fund improvements and services, provided however the District's life may be automatically continued for successive ten-year terms, until all of the project costs are satisfied, without having to submit a new petition subject to the condition precedent that the City Council shall not have adopted a resolution disallowing such continuation prior to the date upon which any successive term would have commenced unless sooner terminated in accordance with Section 67.1481, RSMo of the Act. .
10. **Real Property Taxes.** The proposed district will not have the power to impose a real property tax or a business license tax.
11. **Special Assessments.** The District shall be permitted to impose special assessments. The maximum rate of the special assessments and the method of each parcel are set forth in the Special Assessment Petition in **Exhibit D** (the "Special Assessment Petition") attached hereto and incorporated herein and made an integral part of this Petition. The special assessments shall be imposed once the improvements on each lot, parcel, or tract are constructed and a certificate of occupancy is issued.

By execution of this Petition, the Petitioner has executed the Special Assessment Petition and authorized the special assessments set forth in the Special Assessment Petition. Upon the City's adoption of an ordinance establishing the District according to the Act and as provided in this Petition, the Petitioner shall present the Special Assessment Petition to the Board of the District for its approval.

of a business operating within the District, or a registered voter ("Resident") residing within the District, as provided by the CID Act;

- iii. be and have been a resident of the State of Missouri for at least one year immediately preceding the date upon which he or she takes office in accordance with Article VII, Section 8 of the Missouri Constitution; and
 - iv. except for the initial directors named in this Petition, be nominated according to the slate submitted as described in **Section 6, paragraph e** of the Petition.
- c. Initial Directors. The initial Board of the proposed district shall be appointed by the Mayor with the consent of the City Council ("Initial Directors"). Two of the Initial Directors shall serve for four-year terms and the remaining three directors shall serve for two-year terms.
- d. Terms. Each Initial Director shall serve until his/her successor is appointed in accordance with **Section 6, paragraph e** of the Petition. Each Successive Director shall serve a four (4) year term or until his/her successors is appointment in accordance with **Section 6, paragraph e** of the Petition. If, for any reason, a Director is not able to serve his/her term, the remaining directors shall elect an Interim Director to fill the vacancy of the unexpired term.

Notwithstanding anything to the contrary, any Director's failure to the meet the qualification requirements of **Section 6, paragraph b** of the Petition, either in the Director's individual capacity or in a Director's representative capacity, shall constitute cause for the Board to take appropriate action to remove said Director.

- e. Successive Directors. Successor Directors shall be appointed by the Mayor with the consent of the City Council by resolution according to the slate submitted by the Executive Director of the District to the City of Gladstone, Missouri's City Clerk (the "City Clerk"). The slate of proposed Successive Directors shall evidence in a from satisfactory to the City that each Successor Director meets the qualifications to serve as Director pursuant to the CID Act and this Petition.

Upon receipt of the slate of Successor Directors, the City Clerk shall promptly deliver the slate to the Mayor, and the Mayor shall either (i) approve the slate and seek consent of same from the City Council at the next regular meeting of the City Council or (ii) return the slate to the Board with a request for alternates for any or all of the Boards positions identified in the slate.

Should the City Council refuse to consent to the slate submitted to it by the Mayor, it shall request alternatives for any or all Board positions identified on the slate, the Board shall within ten (10) days of such refusal submit an alternative slate to the mayor with two (2) alternates for each of the Board positions requested by the City Council.

12. **Sales Taxes.** Qualified voters of the proposed district may be asked to approve a sales tax of up to one percent (1%), in accordance with the CID Act, to fund certain improvements within the proposed district and/or to pay the costs of services provided by the proposed district.
13. **Borrowing Capacity.** Petitioner does not seek limitations on the borrowing capacity of the proposed district.
14. **Revenue Generation.** Petitioner does not seek limitations on the revenue generation of the proposed district.
15. **Powers of District.** Petitioner does not seek limitations on the powers of the proposed district.

Exhibit A-1

The legal description of the proposed district

LOTS 4, 5, 6, 7, 8, 9, 10, 11 AND S. 10.72 FEET OF LOT 12, BLOCK 25, LINDEN SUBDIVISION.

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 1, BLOCK 25, LINDEN SUBDIVISION; THENCE S. $89^{\circ} 37'44''$ E. ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 80.00 FEET TO THE POINT OF BEGINNING OF SAID TRACT OF LAND; THENCE CONTINUING ALONG SAID NORTH LINE OF S. $89^{\circ} 37'44''$ E, A DISTANCE OF 43.91 FEET TO THE NORTHEAST CORNER OF SAID LOT 1; THENCE ALONG THE EAST LINE OF SAID LOTS 1, 2 AND 3 S. $00^{\circ} 25'15''$ W., A DISTANCE OF 160.38 FEET TO THE SOUTHEAST CORNER OF SAID LOT 3; THENCE ALONG THE SOUTH LINE OF SAID LOT 3 N. $89^{\circ} 50'09''$ W., A DISTANCE OF 124.17 FEET TO THE SOUTHWEST CORNER OF SAID LOT 3; THENCE ON THE WEST LINE OF SAID LOTS 2 AND 3 N. $00^{\circ} 30'41''$ E., A DISTANCE OF 80.83 FEET; THENCE PARALLEL WITH THE WEST LINE OF SAID LOTS 1,2, AND 3 N. $00^{\circ} 30'41''$ E., A DISTANCE OF 80.00 FEET TO THE POINT OF BEGINNING, BEING TRACT 2 AS SHOWN ON THE CERTIFICATE OF SURVEY RECORDED DECEMBER 7, 2016 AS DOCUMENT NO. 2016043750 IN BOOK H, PAGE 177.

Map illustrating the contiguous boundaries of the proposed district

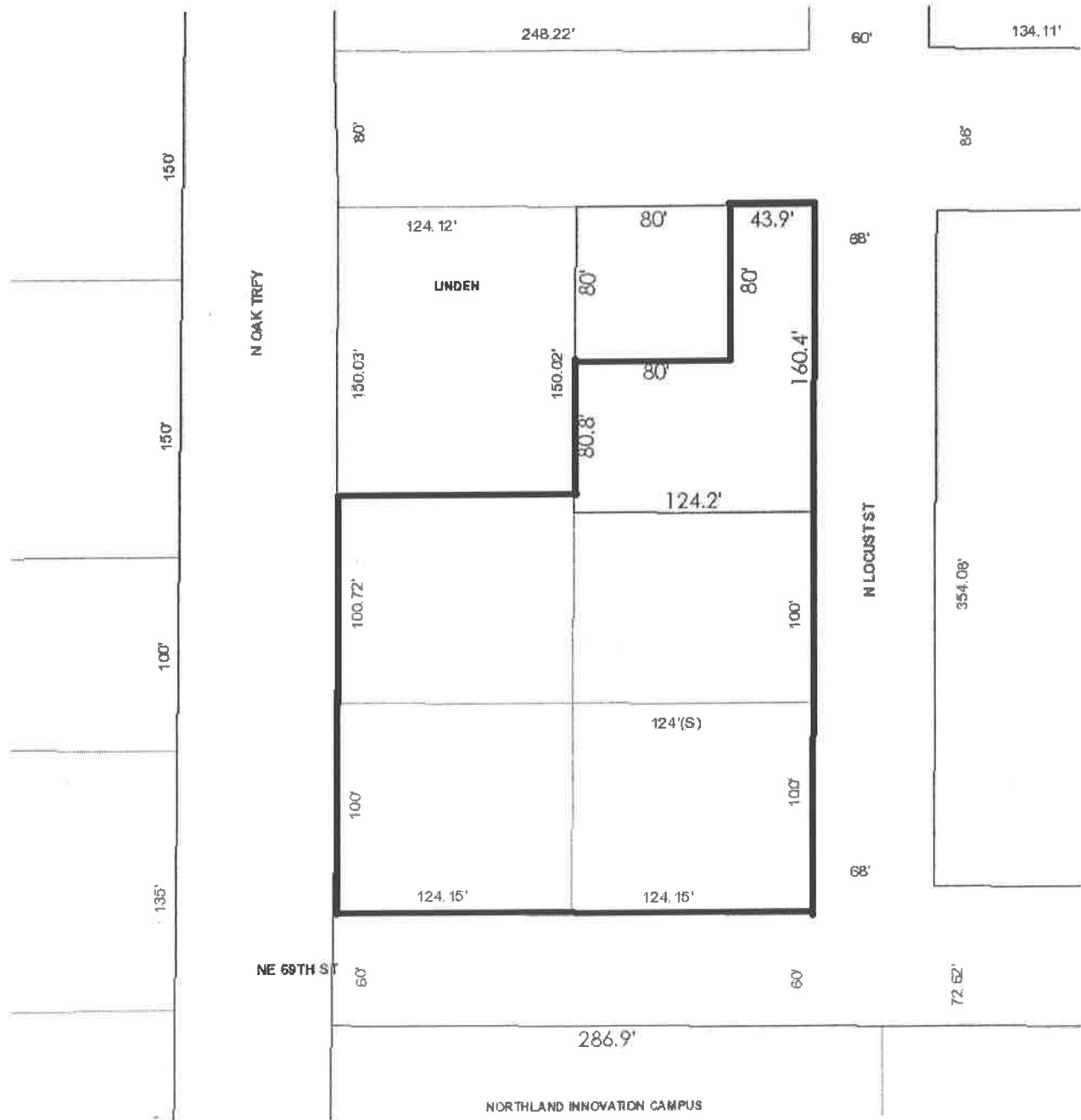


Exhibit B

**A list of the owners of all properties included within the boundaries of the proposed district
as of the date of the filing of this Petition**

Parcel #	Owner
13614002500200	City of Gladstone, Missouri
13614002500300	City of Gladstone, Missouri
13614002500400	City of Gladstone, Missouri
13614002500500	City of Gladstone, Missouri

Signature Page for Petition to the City of Gladstone, Missouri for Establishment of the Downtown Linden Community Improvement District

The undersigned requests that the City Council of the City of Gladstone, Clay County, Missouri, establish the Downtown Linden Community Improvement District according to the preceding Petition and authorize the creation of the District.

Name of Owner:	City of Gladstone
Owner's Telephone Number:	(816) 436-2200
Owner's Mailing Address:	7010 N. Holmes
	Gladstone, Missouri 64118
Name of Signer:	Scott Wingerson
Basis of Legal Authority to Sign:	City Manager
Signer's Telephone Number:	Same as above
Signer's Mailing Address:	Same as above

The map, parcel number and assessed value of each tract of real property within the proposed District owned: The District will contain all or a limited portion of the following parcels:

<u>Address</u>	<u>Map/Parcel I.D.</u>	<u>Assessed Value</u>
6915 N. Oak Trafficway	13614002500200	\$0
6901 N. Oak Trafficway	13614002500300	\$0
6902 N. Locust Street	13614002500400	\$0
6906 N. Locust Street	13614002500500	\$0
Total		\$0

[SIGNATURE AND NOTARY PAGES TO FOLLOW]

By executing this Petition, the undersigned represents and warrants that he has received a copy of this Petition and its exhibits, has read this Petition and its exhibits, is authorized to execute this Petition on behalf of the property owner named immediately above, and authorizes this signature page to be attached to the original of this Petition to be filed in the Office of the City Clerk. The undersigned also acknowledges that his/her signature may not be withdrawn later than seven days after this Petition is filed with the City Clerk.

City of Gladstone, Missouri
a Third-Class City in Clay County, Missouri

By: 

Name: Scott Wingerson


Title: City Manager

Date: July 11, 2019

STATE OF mo.)
)
COUNTY OF Clay) SS.

BE IT REMEMBERED, that on this 11 day of July, 2019 before me, the undersigned, a Notary Public in and for the County and State aforesaid, came Scott Wingerson, City Manager of the City of Gladstone Missouri, who executed the foregoing instrument on behalf of said City and he duly acknowledged the execution of the same to be the act and deed of said City.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal in the City and State aforesaid, the day and year first above written.


Notary Public

My Commission Expires:

11-11-22

REBECCA JARRETT
Notary Public - Notary Seal
STATE OF MISSOURI
Clay County
My Commission Expires: November 11, 2022
Commission #14392947

EXHIBIT C
FIVE YEAR PLAN

(Attached)

FIVE YEAR DISTRICT MANAGEMENT PLAN
OF
DOWNTOWN LINDEN COMMUNITY IMPROVEMENT DISTRICT
CITY OF GLADSTONE, MISSOURI

The information and details outline in the following pages represent the strategies, and activities that it is anticipated will be undertaken during the initial five-year duration of the Downtown Linden Community Improvement District in Gladstone, Missouri. It is an integral and composite part of the petition to establish the Downtown Linden Community Improvement District.

July 11, 2019

Introduction

The Downtown Linden Community Improvement District (the "District") is created pursuant to Section 67.1401 through 67.1571 of the Revised Statutes of Missouri (the "CID Act"). Section 67.1421, RSMo, requires that the petition for the creation of the District be accompanied by a five-year plan which includes a description of the purposes of the proposed district, the improvements it will make and an estimate of the costs of these improvements to be incurred. This Five-Year District Management Plan (the "Plan") is designed to comply with this statutory requirement, and is appended to the Petition for Formation of the District.

Section 1

Why Create a Community Improvement District?

The District is proposed to provide funding for the Improvements and Services (as those terms are defined below). The District may incur obligations, which may include the issuance of bonds, the proceeds of which would be used to fund or reimburse all or a certain portion of the costs associated with construction of the Improvements and provision of the Services. The District will impose a sales tax on retail properties within the District. The revenues from the sales tax will be used to repay the District's obligations. If bonds are issued by the District, the bonds will not be a financial obligation of the City of Gladstone, Missouri.

Section 2

What is a Community Improvement District?

A community improvement district ("CID") is an entity that is separate from the City of Gladstone, Missouri (the "City") and is formed by the adoption of an ordinance by the City Council following a public hearing before the City Council regarding formation of the District. A CID may take the form of a political subdivision of the State of Missouri, or a nonprofit corporation that is formed and operated under Missouri corporation laws. CIDs are empowered to provide a variety of services and to finance a number of different types of improvements. CIDs derive their revenue from taxes levied within the boundaries of the CID. Such revenues are then used for the benefit of the properties within the CID. A CID is operated and managed by a board of directors, whose members may be appointed or elected. Board members serve for a designated period of time, and the Board positions are again elected or appointed at the expiration of each term.

Section 3

Management Plan Summary

This Plan is proposed to improve and convey special benefits to properties located within the boundaries of the District by providing assistance in the construction of certain Improvements and provision of certain Services. The District in this case will take the form of a

separate political subdivision of the State of Missouri, which will be governed by a Board of Directors that will consist of five members.

District Formation:

CID formation requires submission of signed petitions from a group of property owners:

- collectively owning more than fifty percent (50%) by assessed value of the real property within the District, and
- representing more than fifty percent (50%) per capita of all owners of real property within the District.

The Petition to which this Plan is attached meets these signature requirements.

Location:

The Project is located generally at the intersection of NE 69th Street and N. Oak Trafficway in Gladstone Missouri. The District will cover approximately 2 acres of land and is represented on the map included as **Exhibit A-2** of the Petition to which this Plan is attached.

Assessed Value of District:

The total assessed value of the properties within the District on the date of the Petition is \$0.

Improvements and Services

ANTICIPATED IMPROVEMENT	PRELIMINARY ESTIMATED COST
Grading of site	\$350,000
Reconstruction of Parking Lot	\$250,000
Engineering costs	\$125,000
Construction and extension of utilities	\$75,000
Legal Formation Cost	\$50,00
Total Estimated Cost of Improvements	\$850,000

The particular items included within the Improvements may be increased or amended from time to time and the costs of the Improvements to be financed by the District shall include all associated design, architecture, engineering, financing, private interest carry, legal and administrative costs of same.

In addition to the Improvements, the District is authorized to provide all of those services authorized by the Act, including the maintenance of public improvements and public and private property within the District, and supporting business activity and economic development in the District, including, but not limited to, the promotion of business activity, development and

retention, and recruitment of business. Such services shall only be paid by revenues of the district after the costs of improvements have been fully paid.

Formation Costs:

It is anticipated that all costs, including attorneys' fees and engineering, architectural and consulting fees, associated with formation of the District, including, but not limited to, the preparation of the CID Petition, the negotiation and drafting of any agreements entered into upon formation of the District in furtherance of the District's purposes, the establishment of the District boundaries, organization of District property owners, and the initial implementation of the District ("Formation Costs") will be reimbursed to the advancing party, or paid directly, from funds generated by the District.

Method of Financing:

The District will impose a sales tax on all retail sales made in the District which are subject to taxation pursuant to Sections 144.010 to 144.525 of the Revised Statutes of Missouri, except the sale of motor vehicles, trailers, boats or outboard motors and sales to public utilities, all as allowed by Sections 67.1461 and 67.1545 of the Revised Statutes of Missouri (the "District Sales Tax"). The District will also levy a special assessment of Five Dollars (\$5.00) per occupied hotel room per night (the "District Special Assessment"; the District Sales Tax and District Special Assessment are collectively the "District Revenue"). The District Revenue will be used to pay costs of construction of the Improvements, Services, and the payment of administrative costs of the District.

Cost:

The total estimated cost of the Improvements and the estimated annual cost of administering and operating the District is not currently known. The preliminary cost of initial Improvements anticipated to be undertaken within the District in the first five years of the District's formation are anticipated to cost \$850,000.

City Services:

The CID Act mandates that existing City services will continue to be provided within a CID at the same level as before the District was created (unless services are decreased throughout the City) and that District services shall be in addition to existing City services. The District anticipates that City services will continue to be provided within the District at the same level as before the District was created, and the District will not cause the level of City services within the District to diminish.

Duration:

The District will operate for a maximum term of twenty (20) years beginning 2019. The term of the District may be automatically continued for successive ten (10) year terms, without

having to submit a new petition, subject to the condition precedent that the City Council shall not have adopted a resolution disallowing such continuation prior to the date upon which any successive term would have commenced. No plan for distribution of assets on dissolution may be approved unless the title to assets of the District are to be owned by the State of Missouri or a political subdivision of the State of Missouri.

Governance:

The District's budgets and policies may be refined annually by the District's Board of Directors. The District will enter into a contract with the necessary parties to coordinate construction, maintenance and financing activities of the District. Budgets and reports will be submitted annually to the City for review and comment. The District will operate at all times in accordance with the District Rules and Regulations (Section 7) and the Bylaws of the District.

Section 4

District Boundaries

Approximately 2 acres have been identified for the District. The map of the District is attached as **Exhibit A-2** to the Petition.

Section 5

Facilities and Services to Be Provided

As summarized above, during the first five years, the District will be used as a mechanism to finance the cost of constructing the Improvements and providing the Services. The District will also provide for its operating costs, including administrative and legal services.

Section 6

Governing the Community Improvement District

City Council

Following the submission of the Petition, the City Council will conduct a public hearing and then consider an ordinance to create the District.

Board of Directors for CID:

CID budgets and policies may be refined annually by the District's Board of Directors. Annual budgets will be submitted annually to the City of Gladstone for review and comment.

Contract with the City:

The District may enter into a contract with the City of Gladstone regarding the operation of the District, the imposition and collection of the District Sales Tax and any other relevant

aspects of the overall financing for the Improvements, Services, and administration and operation of the District. Pursuant to Section 67.1461.3, RSMo, the contract between the District and the City may also provide for the annual reimbursement to the City for the reasonable and actual expenses incurred by the City to establish the District.

Section 7

District Rules and Regulations

1. The District shall operate at all times in accordance with Bylaws that shall be adopted by the Board of Directors. At all times, the District shall conduct its proceedings in accordance with Robert's Rules of Order, except as otherwise provided in the Bylaws.
2. The District will meet on an annual or more frequent basis. The District shall hold meetings when so requested by the City.
3. The District will annually prepare a budget, and an annual report describing the major activities of the District during the preceding year and upcoming year. The Budget and Report shall be submitted to the City Finance Director or City Manager for review and comment no earlier than 180 days and no later than 90 days prior to the first day of each fiscal year.

EXHIBIT D
SPECIAL ASSESSMENT PETITION

The Downtown Linden Community Improvement District (the "District") shall be authorized to levy special assessments against real property benefited within the District for the purpose of providing revenue to fund certain improvements within the District and/or to pay the cost of services authorized to be provided in the petition to establish the District, such special assessments to be levied against each tract, lot, or parcel of real property listed below within the District which receives special benefit as a result of such service and/or projects, the cost of which shall be assessed against the applicable users of any Hotel within the District in an amount equal to, and not to exceed, Five Dollars (\$5.00) per occupied hotel room per night. A "Hotel" shall mean an establishment providing accommodations, rooms, lodging, and other related services for travelers and tourists.

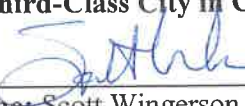
The existing tracts of land located within the District which will receive special benefit from the services and/or improvements are as follows:

City of Gladstone

Address	Map/Parcel I.D.	Assessed Value
6915 N. Oak Trafficway	13614002500200	\$0
6901 N. Oak Trafficway	13614002500300	\$0
6902 N. Locust Street	13614002500400	\$0
6906 N. Locust Street	13614002500500	\$0
Total		\$0

By executing this Petition, the undersigned represents and warrants that he is legally authorized to execute this Petition on behalf of the property owner named immediately above and that said property owner consents to the imposition of the special assessments herein described in this Petition

THE CITY OF GLADSTONE, MISSOURI
A Third-Class City in Clay County, Missouri

By: 
Name: Scott Wingerson
Title: City Manager
Date: July 11, 2019

STATE OF mo.)
COUNTY OF Clay) SS.

BE IT REMEMBERED, that on this 11 day of July, 2019 before me, the undersigned, a Notary Public in and for the County and State aforesaid, came Scott Wingerson, City Manager of the City of Gladstone Missouri, who executed the foregoing instrument on behalf of said City and he duly acknowledged the execution of the same to be the act and deed of said City.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal in the City and State aforesaid, the day and year first above written.


Notary Public

My Commission Expires:

11-11-22

REBECCA JARRETT Notary Public - Notary Seal STATE OF MISSOURI Clay County My Commission Expires: November 11, 2022 Commission #14392947
--

Exhibit E

Blight Study Attached

Downtown Gladstone Hotel

Blight Study

Summary Findings

The following is a study of a site, further described in this study, in the City of Gladstone, Missouri (the "City"). This study seeks to determine whether the subject site is blighted under the definition set forth in Section 67.1401.2(3) Revised Statutes of Missouri, which defines "Blighted Area" in part as:

an area which by reason of the predominance of defective or inadequate street layout, insanitary or unsafe conditions, deterioration of site improvements, improper subdivision or obsolete platting, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, retards the provision of housing accommodations or constitutes an economic or social liability or a menace to the public health, safety, morals or welfare in its present condition and use

As determined by this study, it is the opinion of the City of Gladstone Department of Community Development that the subject property is a "blighted area" as set forth in the above definition. The primary blighting factors are:

- Unsanitary or unsafe conditions
- Deterioration of site improvements
- The existence of conditions which endanger life or property by fire or other causes
- Problematic topography conditions

The presence of the blighting conditions listed above creates an economic and social liability for the City, in that the presence of the blighting factors lower property values, increase public costs, and lower tax revenues. Vacancies and underdevelopment hinder economic opportunities available to the area and the City, and limits the funds available to address routine maintenance and repair which in turn, creates a cycle of blight throughout the area. Statistically, a failure to maintain property substantially increases public maintenance costs. The site (also referred to herein as the "Redevelopment Area") is socially and economically underutilized and fails to generate adequate taxes for the applicable taxing districts.

The blighting conditions of the identified property lower property values, lower taxes, increase maintenance costs, and increase the likelihood of crime, all of which create a menace to public health, safety, and welfare to the community.

Introduction

Identification of the Redevelopment Area

The study area is comprised of three parcels that contain 1.56 acres. The study area is presently zoned commercial with uses as vacant land, a building formerly known as Santé Fe Glass, which was demolished in late 2018 after lying vacant, and a cash loan business that has been demolished as of May 2019. The demolition of these sites were in response to public perception of our developing downtown as well as both sites attracting a homeless and vagrant population that resulted in the Gladstone Police being called to the site(Please see the attached police report). The site is located at the Northeast corner block of NE 69th Street and North Oak Trafficway, Gladstone, Clay County, Missouri.

Identification of the Problem

Purpose

The purpose of this blight study is to investigate and determine if blight conditions exist in the proposed study area according to the Missouri Community Development Improvement District (CID) statutes.

Definition

RSMO 67.1401 – “Blighted Area”: an area which (a) By reason of the predominance of defective or inadequate street layout, unsanitary or unsafe conditions, deterioration of site improvements, improper subdivision or obsolete platting, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, retards the provision of housing accommodations or constitutes an economic or social liability or a menace to the public health, safety, morals or welfare in its present condition and use; or

(b) Has been declared blighted or found to be a blighted area pursuant to Missouri law including, but not limited to, chapter 353, sections 99.800 to 99.865, or sections 99.300 to 99.715.

Effective Date

The effective date of this Blight Study is May 2019. A comparison of the date of this report to the effective date indicates that the conclusions are reflective of current market conditions.

Use or Function

This Blight Study was prepared for the sole and exclusive use of the City of Gladstone to assist in determining if the Study Area is eligible for designation as a blighted area if it is placed in a Community Improvement District.

Sources of Information

Market data was obtained from a variety of sources, including the following:

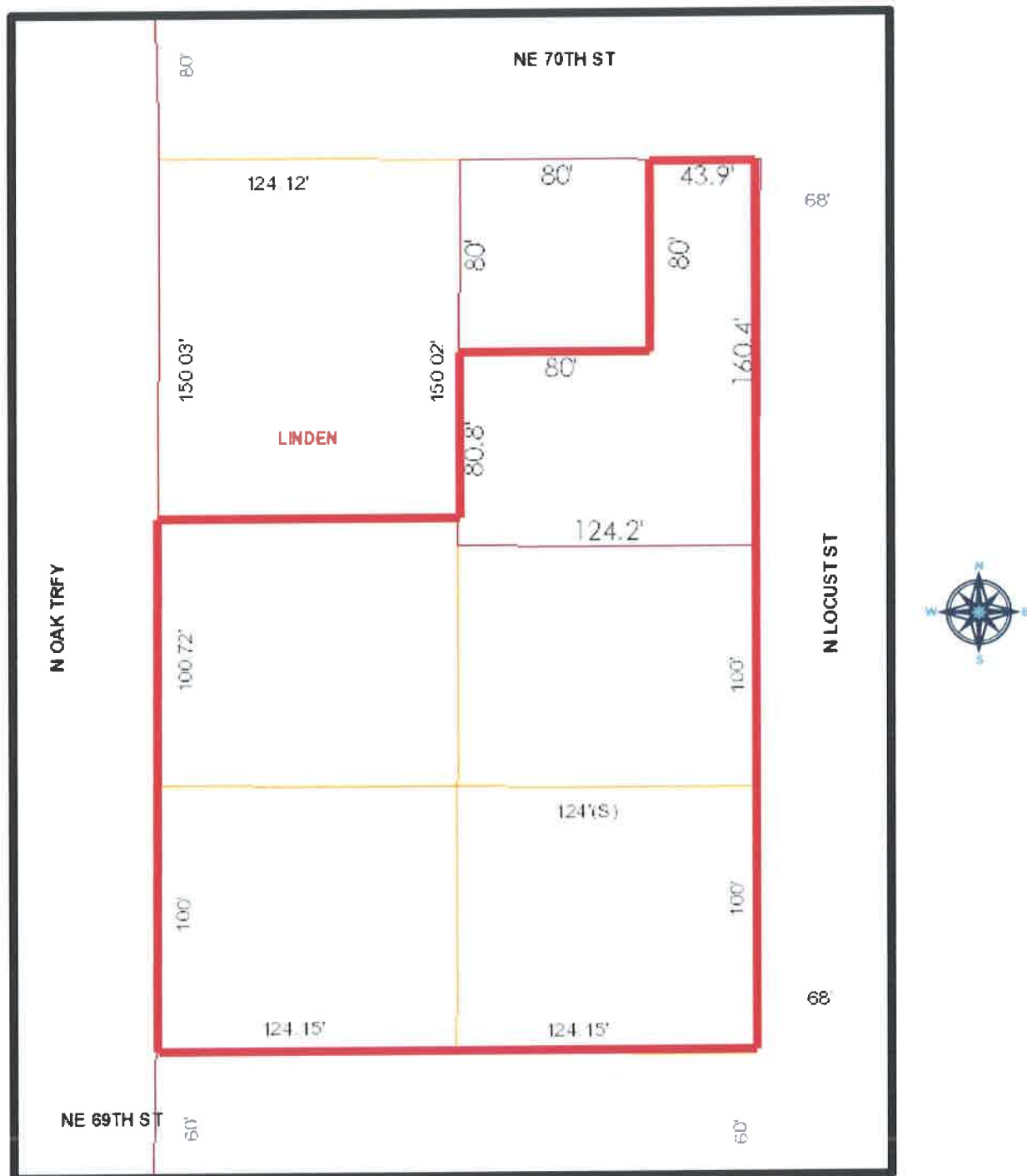
- City of Gladstone Public Safety Records Management System
- Clay County, Recorder of Deeds
- City of Gladstone, Geographic Information Systems

- City of Gladstone, Code Violation System
- City of Gladstone, Zoning Records
- City of Gladstone, Economic Development Division

Area & Neighborhood – NE 69th Street & North Oak Trafficway – Downtown Gladstone

Area

The subject is located in Gladstone, Clay County, Missouri. Following is a brief discussion of the primary area characteristics and trends impacting the subject property.



Land Use

Area land use is zoned commercial and mixed-use

Predominant Quality and Condition	Poor to Average
Life Cycle Stage	Declining
Immediate Surrounding Land Use: North South East West	Commercial Commercial Mixed – Use Commercial

Property Data

Site Description

Identification

Location	NE 69th St. & N. Oak Trafficway NE 70 th St. & N. Locust St.
Parcel ID Numbers	13614002500200 13614002500300 13614002500400 13614002500500 13614002500800

Physical Features

Size (Acres)	Five Parcels Combined = 1.56 acres
Topography	Poor to Average – Borehole report states limestone found 7 ft. - 15 ft. below surface depending on location on the property
Configuration	L Shape
Drainage	Not provided
Flood Plain	Not provided

Streets, Access, & Frontage (Southwest Corner)

Street	N. Oak Trafficway	NE 69 th & NE 70 th St.
Frontage	Yes	No
Paving	Asphalt/Concrete	Asphalt/Concrete
Curb/Gutter	Yes	Yes
Sidewalks	Yes	Yes
Lanes	4 - Lanes	2 - Lanes
Direction of Traffic	North/South	East/West
Condition	Good	Good
Traffic Level	Moderate	Light
Signals/Traffic Control	Signal on corner of N. Oak Trafficway and NE 70 th St.	Stop Signs
Access	Full	Full
Visibility	Good	Good

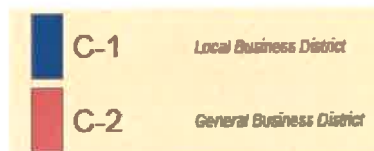
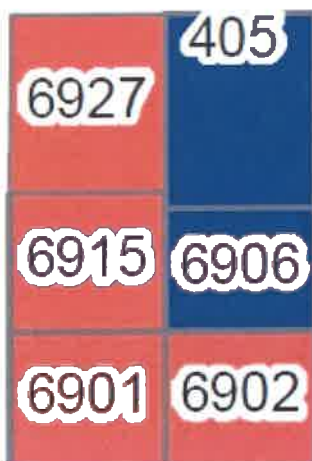
Legal

Zoning Designation – Commercial	13614002500200 C-2 General Business District
Prevailing Uses – Commercial	13614002500300 C-2 General Business District
	13614002500400 C-2 General Business District
	13614002500500 C-1 Local Business District
	13614002500800 C-1 Local Business District
Conformance	Existing Improvements are Conforming

Utilities

Adequate utilities including water, sewer, electricity, fiber (Internet) and gas are available and in place in the Redevelopment Area.

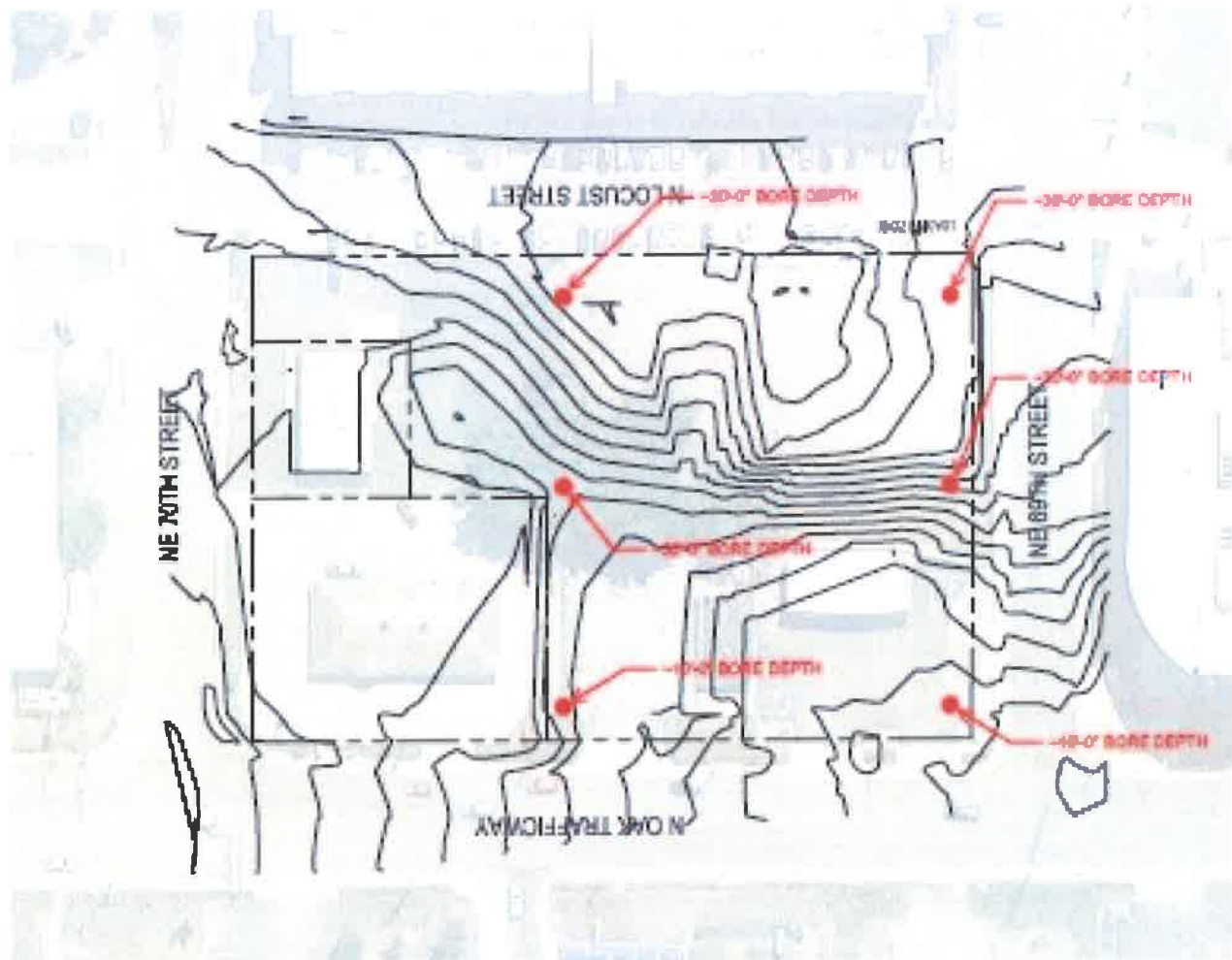
Zoning Map



Aerial/Parcel Map/Existing Site Layout –Google Maps Satellite, Accessed April 30, 2019



Topography & Geotech Survey – Olsson Associates Borehole Report is attached



*Graphic indicates a significant limestone shelf

Improvement Description

Description of the Redevelopment Area is based on physical inspection.

General

Design/Use	Buildings are/were single tenant use - Lend Nation (Demolition Complete May 2019) - Santa Fe Glass (Demolition Complete in 2018) Vacant land/Parking Lot
Year Built	Not Provided
Building Sizes (sq. ft.)	Approximately 2,500 – 5,000 sq. ft. per building
Configuration	Small dilapidated properties adjacent to major economic corridor
Tenant/Building Spaces	Single tenant spaces/buildings
Building Heights	Not Provided – Single Story Commercial

Improvement Analysis – Lend Nation (Current) & Santa Fe Glass (Previous)

Condition/Deferred Maintenance	Poor
Functional Utility	Poor

Subject Photos

Lend Nation (Demolished as of May 2019)









Subject Photos

Vacant & Underutilized Land (Problematic Topography Conditions)



Subject Photos

Sante Fe Glass (Demolished in 2018)









Findings Supporting a Finding of Blight

There are many indications of water issues within and around the building structures. Rotting wood, due to water infiltration, has softened wood which would indicate a high probability that termites are present.

Several instances of electrical wires not being properly contained were found at the site. These included open junction boxes and exposed wiring in areas located where water infiltration was observed. The site lacks a consistent maintenance program and appear to only be addressed when nuisances are noted by the city.

The topography of the land is problematic due to a limestone shelf identified by Olsson Associates when they conducted a geotechnical study (Borehole Report). This report concludes that weathered limestone can be found 7 ft. to 15 ft. below the surface depending on where the borehole was conducted. This discovery makes development more costly and difficult to navigate.

The Study Area is characterized by:

- Deteriorated parking lots (concrete & asphalt)
- Deteriorating structures
- Inadequate street/parking areas
- Water infiltration
- Wood rot
- Exposed electrical wires and junction boxes
- Holes in various spots of the structure
- Faded and peeling paint
- Fencing in disrepair around dumpster enclosure
- Problematic topography conditions due to a limestone shelf
- Broken windows
- Trash/Rubbish
- Unmaintained trees/brush

Blight Defined & Conclusion

As presented earlier, Section 67.1401 RSMo of Missouri's Community Improvement Act Statue defines "blighted area" as follows:

(a) By reason of the predominance of defective or inadequate street layout, unsanitary or unsafe conditions, deterioration of site improvements, improper subdivision or obsolete platting, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, retards the provision of housing accommodations or constitutes an economic or social liability or a menace to the public health, safety, morals or welfare in its present condition and use; or

(b) Has been declared blighted or found to be blighted area pursuant to Missouri law including, but not limited to, chapter 353, sections 99.800 to 99.865, or sections 99.300 to 99.715.

As determined by the following study, it is the opinion of the City of Gladstone Community Development Department that the subject property is a “blighted area” as defined in Section 67.1401 of the Revised Statutes of Missouri. The primary blighting factors are:

1. **Unsanitary or Unsafe Conditions:** The site is predominately a wood structure with substantial damage along with significant water infiltration, which has resulted in peeling paint, indications of mold growth, and rotting structural members.
2. **Deterioration of Site Improvements:** Due to age and location, many of the improvements constructed within the study area have deteriorated and are obsolete and have surpassed their useful life. The study area is characterized by:
 - Deteriorated and inadequate parking lots
 - Crumbling parking lot structures
 - Deteriorating building structures
 - Outmoded parking areas that are not properly marked
3. **The existence of conditions which endanger life or property by fire or other causes:** The presence of dangling and open electrical wires, weakening structural members and crumbling concrete/asphalt increases the likelihood of personal injury and endangers the property. The instance that occurred on March 21, 2019, where a police report was filed for an unlawful trespass and destruction of property that transpired at 6915 North Oak Trafficway, Gladstone, MO (Police report is attached).
4. **The problematic topography in regard to the limestone shelf found 7ft. to 15 ft. under the surface can make multi-story development more costly and difficult to circumvent.**

The presence of the blighting conditions discussed above, in relation to our developing downtown, creates an economic and social liability for the City, in that the presence of the blighting factors lower property values, increase public costs, and lower tax revenues. Deterioration of commercial property stunts potential development and income available, not only to the subject site, but also to the area surrounding the study area. This further limits the ability of the study area to make improvements, address needed maintenance issues, and creates a cycle of blighting influences for the entire area. Failure to maintain this property, next to a primary economic corridor, increases public maintenance costs.

The blighting condition lowers property values, lowers taxes, increases maintenance costs and increases the likelihood of crime, all of which creates a menace to the public health, safety, and welfare of the community.



**SPECIAL CITY COUNCIL MEETING
GLADSTONE, MISSOURI
MONDAY, JULY 29, 2019**

SPECIAL MEETING: 7:30 PM

TENTATIVE AGENDA

- 1. Meeting Called to Order.**
- 2. Roll Call.**
- 3. Pledge of Allegiance to the Flag of the United States of America.**
- 4. Approval of Agenda.**

REGULAR AGENDA

- 5. Communications from the Audience.**
- 6. Communications from the City Council.**
- 7. Communications from the City Manager.**
- 8. PUBLIC HEARING:** Final Development Plan and Zoning Change.
- 9. FIRST READING BILL NO. 19-32** An Ordinance and Final Development Plan relating to Zoning Ordinance regulations and the establishment of Use Districts within the City of Gladstone, Missouri.
- 10. FIRST READING BILL NO. 19-33** An Ordinance approving the Final Plat of the Fairfield Inn by Marriott, Linden Lots 3-11, together with part of Lots 1, 2 and 12, all of Block 25, Linden, A Subdivision in Gladstone, Clay County, Missouri, (commonly known as 6901 North Oak Trafficway), and directing the appropriate officials to affix their signatures to said Plat for recording.
- 11. Other Business.**
- 12. Adjournment.**

Representatives of the News Media may obtain copies of this notice by contacting:

City Clerk Ruth Bocchino **Posted at 3:00 pm**
City of Gladstone July 25, 2019
7010 North Holmes
Gladstone, MO 64118
816-423-4096

AN ORDINANCE AND FINAL DEVELOPMENT PLAN RELATING TO ZONING ORDINANCE REGULATIONS AND THE ESTABLISHMENT OF USE DISTRICTS WITHIN THE CITY OF GLADSTONE, MISSOURI.

WHEREAS, pursuant to applicable City ordinances, an Application has been submitted to the Gladstone City Council to rezone Linden Lots 3-11, together with part of lots 1, 2 and 12, and all of Block 25, Linden, a subdivision in Gladstone, Clay County, Missouri.

WHEREAS, public hearings have been held after the publishing of the required notices.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF GLADSTONE, MISSOURI, AS FOLLOWS:

THAT, the aforesaid land be rezoned from C-1 (Local Business District), C-2 (General Business District) to MXD (Mixed-Use District).

SECTION 1. FINAL DEVELOPMENT PLAN APPROVAL.

The Final Development Plan for the above described property is hereby approved subject to the terms and conditions set forth herein:

1. All signage shall comply with approved City Standards and shall be consistent with existing Downtown Gladstone signage and Marriott Fair Field Inn and Suites Standards.
2. A compliant monument sign shall be used to serve the development. The monument sign requires a minimum of 240 square feet of area landscaping around the sign or per Marriott's acceptable franchise standards.
3. A fire protection system shall be installed and comply with the 2015 International Fire Code.
4. All manicured grass and landscaped areas shall be irrigated and maintained in perpetuity.
5. All fencing within the development boundaries shall be wrought iron style fencing.
6. All exterior lighting shall be energy efficient (LED) lighting and comply with city code.
7. All building mechanical equipment shall be screened from public view. Typical hotel individual room PTAC (air conditioning) units shall be acceptable.
8. Service and loading areas shall be screened from public view.
9. Development shall consist of best practice for sustainable design and follow the current energy and building codes.

10. To the extent any retaining walls are necessary on or near the property line or adjacent to the right-of-way; retaining wall details shall be submitted and approved by city staff prior to construction. All structural walls shall be reviewed via building permit process.
11. Disabled vehicles shall not be permitted on site.
12. Tractor trailers shall not be parked or stored overnight. Storage containers shall not be stored on site unless as part of a valid building permit.
13. Dumpsters and storage shall be enclosed (5 sides) and covered to adequately be screened from public view. Trash services shall be scheduled between 7:00 am – 10:00 pm.
14. Provide outdoor bike racks within development area to serve employees, visitors and the area community.
15. Water and sewer utilities must be designed and installed to city code.
16. A public art component will be incorporated into this project as approved by City Council.

INTRODUCED, READ, PASSED, AND ADOPTED BY THE COUNCIL OF THE CITY OF GLADSTONE, MISSOURI, THIS 29th DAY OF JULY, 2019.

Mayor Carol J. Suter

ATTEST:

Ruth Bocchino, City Clerk

1st Reading: July 29, 2019

2nd Reading: July, 29, 2019

File #2019-009



Request for Council Action

RES ☐ # City Clerk Only

BILL ☒ # 19-32

ORD # 4.483

Date: 7/23/2019

Department: Community Development

Meeting Date Requested: 7/29/2019

Public Hearing: Yes ☒ Date: 7/29/2019

Subject: Zoning & Site Plan Approval - Marriott Fairfield Inn Hotel

Background: The applicant is requesting a re-plat, zoning change and site plan revision for the purpose of constructing a brand new Marriott Fairfield Inn Hotel at 6901 North Oak Trafficway. This new hotel will stand 5 stories tall, be 67,140 square feet and have 109 air conditioned rooms. This proposed project will re-plat and rezone five (5) individual parcels into one parcel and one zoning. The current zoning of these five (5) parcels is a combination of C-1 Local Business District and C-2 General Business District. The desired zoning of this proposed project is Mixed-Use (MXD), which is a planned district and consistent with adjacent properties such as the Heights at Linden Square and the Northland Innovation Campus. MAg Partners, the Developer, is currently revising the plat and a draft will be available Monday, July 15th for Planning Commission review. MAg Partners, Scarlett Group, and Marriott Hotels have designed a hotel that incorporates low impact development practices, bicycle accommodations, best management practices (BMP) to reduce storm water and waste water, reduce light pollution, increase building water and energy efficiency and similar sustainable practices. There are not front, side and rear set back requirements in a Mixed-Use (MXD) zoning. The Hotel is open to the public and has both interior meeting space, lobby, and bar area all open to the public. Additionally, the hotel has an exterior seating area adjacent to the front door of the hotel. In regard to parking for this project, one parking space per room is typically required. This proposed project creates 83 on-site parking spaces with access to 62 public spaces on N. Locust as well as 89 public spaces on NE 69th St. The proposed zoning change to Mixed-Use (MDX), which is a planned district that provides more flexibility to project requirements, allows the Planning Commission and City Council the authority to reduce the amount of required parking spaces specific to this development. It is City Staff's recommendation to lower the amount of required parking spaces to accommodate this particular project given the fact that there is on-street public parking located on N Locust St., and NE 69th St. There is approximately 234 parking spaces available between the Hotel property, N. Locust St. and NE 69th St. within one (1) block. There has been a change to condition #12 stating that "Tractor Trailers shall not be parked or stored overnight. Storage containers shall not be stored on site unless as part of a valid building permit." The Developer has agreed to all recommended conditions.

Budget Discussion: Funds are budgeted in the amount of \$ from the Fund. Ongoing costs are estimated to be \$ annually. Previous years' funding was \$

Public/Board/Staff Input: There is overwhelming support for the Hotel in Downtown Gladstone from the Planning Commission; however, they do have parking concerns. MAg (Developer), Scarlett Hotel Group (Hotel Operators), and City Staff do believe there is adequate and sufficient on-site and off-site parking for the Hotel. Jack Wenenn (Karate Studio) and Tom Pryor (Pryor Appraisal) was present in the audience during the Planning Commission and spoke in favor of the Hotel project. The Planning Commission voted in favor of the project. Replat – in favor 12 – 0 opposed. Zoning Change – in favor 12 – 0 opposed. Site Plan Approval – in favor 12 – 0 opposed.

Provide Original Contracts, Leases, Agreements, etc. to: City Clerk and Vendor

Austin Greer	PC	SW
Assistant to the City Manager	City Attorney	City Manager



Community Development Department

Staff Report

Date: July 15, 2019

File: #2019-009

Requested Action: Replat, Zoning Change and Site Plan Revision

Date of PC Consideration: July 15, 2019

Date of Council Consideration: July 29, 2019

Applicant: MAg Partners
11550 I Street

Owner: City of Gladstone
7010 N Holmes St
Gladstone, MO 64118

Architect/ Engineer: Base 4
2901 Clint Moor Road #114
Boca Raton, Florida 33496

Address of Property: 6901 N Oak Trafficway

Planning Information

- Current Zoning: Five individual parcels zoned commercial; Two parcels zoned C-1 Local Business District; Three parcels zoned C-2 General Business District
- Planned Land Use: Commercial/Mixed-Use
- Surrounding Uses: Commercial/Mixed-Use
- Applicable Regulations: Zoning and Subdivision Ordinance and Comprehensive Plan

Additional Information

- Public Utility Availability: Existing
- Ingress/Egress: Four individual locations - North Oak Trafficway; NE 69th Street; North Locust St; NE 70th St
- Traffic Impacts: No Public Safety comments.
- Parking Required: 109 spaces; 1 space per 1 room of the proposed hotel
- Parking Provided: 83 parking spaces created on hotel site; 62 parking spaces on N. Locust St., and 89 parking spaces on NE 69th St. There is approximately 234 parking spaces available within one (1) block of the proposed hotel site.
- Proposed On-Site Improvements: See site plans
- Proposed Landscaping: See site plans
- Proposed Signage: - Proposed monument sign permitted separately

Analysis

The applicant is requesting a re-plat, zoning change and site plan revision for the purpose of constructing a brand new Marriott Fairfield Inn Hotel at 6901 North Oak Trafficway. This new hotel will stand 5 stories tall, be 67,140 square feet and have 109 air conditioned rooms.

This proposed project will replat and rezone five (5) individual parcels into one parcel and one zoning. The current zoning of these five (5) parcels is a combination of C-1 Local Business District and C-2 General Business District. The desired zoning of this proposed project is Mixed-Use (MXD), which is a planned district and consistent with adjacent properties such as the Heights at Linden Square and the Northland Innovation Campus.

MAG Partners, the Developer, is currently revising the plat and a draft will be available Monday, July 15th for Planning Commission review.

MAG Partners, Scarlett Group, and Marriott Hotels have designed a hotel that incorporates low impact development practices, bicycle accommodations, best management practices (BMP) to reduce storm water and waste water, reduce light pollution, increase building water and energy efficiency and similar sustainable practices.

There are not front, side and rear set back requirements in a Mixed-Use (MXD) zoning.

The Hotel is open to the public and has both interior meeting space, lobby, and bar area all open to the public. Additionally, the hotel has an exterior seating area adjacent to the front door of the hotel.

In regard to parking for this project, one parking space per room is typically required. This proposed project creates 83 on-site parking spaces with access to 62 public spaces on N. Locust as well as 89 public spaces on NE 69th St. The proposed zoning change to Mixed-Use (MDX), which is a planned district that provides more flexibility to project requirements, allows the Planning Commission and City Council the authority to reduce the amount of required parking spaces specific to this development. It is City Staff's recommendation to lower the amount of required parking spaces to accommodate this particular project given the fact that there is on-street public parking located on N Locust St., and NE 69th St. There is approximately 234 parking spaces available between the Hotel property, N. Locust St. and NE 69th St. within one (1) block.

Also, the Developer has agreed to all recommended conditions.

Recommended Conditions

City Staff recommends that the following conditions be considered if the Planning Commission and City Council choose to approve this project request:

1. All signage shall comply with approved City Standards and shall be consistent with existing Downtown Gladstone signage and Marriott Fair Field Inn and Suites Standards.
2. A compliant monument sign shall be used to serve the development. The monument sign requires a minimum of 240 square feet of area landscaping around the sign or per Marriott's acceptable franchise standards.
3. A fire protection system shall be installed and comply with the 2015 International Fire Code.
4. All manicured grass and landscaped areas shall be irrigated and maintained in perpetuity.
5. All fencing within the development boundaries shall be wrought iron style fencing.
6. All exterior lighting shall be energy efficient (LED) lighting and comply with city code.
7. All building mechanical equipment shall be screened from public view. Typical hotel individual room PTAC (air conditioning) units shall be acceptable.
8. Service and loading areas shall be screened from public view.
9. Development shall consist of best practice for sustainable design and follow the current energy and building codes.
10. To the extent any retaining walls are necessary on or near the property line or adjacent to the right-of-way; retaining wall details shall be submitted and approved by city staff prior to construction. All structural walls shall be reviewed via building permit process.
11. Disabled vehicles shall not be permitted on site.
12. Tractor trailers shall not be parked or stored overnight. Storage containers shall not be stored on site unless as part of a valid building permit.
13. Dumpsters and storage shall be enclosed (5 sides) and covered to adequately be screened from public view. Trash services shall be scheduled between 7:00 am – 10:00 pm.
14. Provide outdoor bike racks within development area to serve employees, visitors and the area community.
15. Water and sewer utilities must be designed and installed to city code.
16. A public art component will be incorporated into this project as approved by City Council.

There has been a change to condition #12 stating that "Tractor Trailers shall not be parked or stored overnight. Storage containers shall not be stored on site unless as part of a valid building permit."

Changed from, "12. Tractor trailers (not registered as hotel guests) shall not be parked or stored overnight. Storage containers shall not be stored on site unless as part of a valid building permit."

Recommendation

City Staff recommends that the request be **APPROVED** contingent upon the conditions listed above.

GLADSTONE PLANNING COMMISSION MINUTES

Council Chambers July 15, 2019

1. Meeting called to Order- Roll Call. Chair McGee called the meeting to order at 7:00 pm.

Commissioners present were: Chase Cookson
Mike Ebenroth
J.N. Hernandez
Alicia Hommon
Gary Markenson
Katie Middleton
Kim Murch
James New
Shari Poindexter
Bill Turnage
Larry Whitton
Jennifer McGee, Chair

Also present: Jean Moore, Mayor Pro Tem
RD Mallams, Councilmember
Scott Wingerson, City Manager
Bob Baer, Assistant City Manager
Alan Napoli, Building Official/Com Dev Administrator
Austin Greer, Assistant to the City Manager/Planning Administrator
Cheryl Lamb, Administrative Assistant

2. Pledge of Allegiance to the United States of America.

3. Approval of Previous Meeting Minutes: June 18, 2019. Chair McGee asked if there was a motion to approve the minutes from the June 18, 2019 meeting. Mr. Turnage moved to approve the minutes; Mr. Whitton seconded. The minutes were approved, 12-0.

4. Other Business. None.

5. Public Hearing: 6901 N Oak, legally described as Linden Lt 8 & 9, Fairfield by Marriott, File #2019-009.

Chair McGee opened the Public Hearing. She provided information on the process which would include a presentation by City staff followed by an opportunity for the applicant to give a presentation. Then there would be an opportunity for members of the public to speak in opposition, followed by an opportunity for members of the public to speak in support of the application. After that, there would be time for the Planning Commission members to ask questions and discuss the issue. She asked that the Planning Commission members hold their questions during the presentations, until the question and discussion on the issue.

Mr. Greer presented the following information:

"The applicant is requesting a replat, zoning change and a site plan revision for the purpose of constructing a brand new Marriott Fairfield Inn Hotel at 6901 N Oak Trafficway. This new hotel will stand 5 stories tall, be 67,140 square feet and have 109 air conditioned rooms."

"This proposed project will replat and rezone five (5) individual parcels into one parcel and one zoning. The current zoning of these five (5) parcels is a combination of C-1 Local Business District and C-2 General Business District. The desired zoning of this proposed project is Mixed-Use (MXD), which is a planned district and consistent with adjacent properties such as the Heights at Linden Square and the Northland Innovation Campus."

"MAg Partners, Scarlett Hotel Group, and Marriott Hotels have designed a hotel that incorporates low impact development practices, bicycle accommodations, best management practices (BMP) to reduce storm water and waste water, reduce light pollution, increase building water and energy efficiency and similar sustainable practices."

"There are not front, side and rear set back requirements in a Mixed-Use (MXD) zoning."

"The Hotel is open to the public and has both interior meeting space, lobby, and bar area all open to the public. Additionally, the hotel has an exterior seating area adjacent to the front door of the hotel."

"In regard to parking for this project, one parking space per room is typically required. This proposed project creates 83 on-site parking spaces with access to 62 public spaces on N. Locust as well as 89 public spaces on NE 69th St. The proposed zoning change to Mixed-Use (MDX), which is a planned district that provides more flexibility to project requirements, allows the Planning Commission and City Council the authority to reduce the amount of required parking spaces specific to this development. It is City Staff's recommendation to lower the amount of required parking spaces to accommodate this particular project given the fact that there is on-street public parking located on N Locust St., and NE 69th St. There is approximately 234 parking spaces available between the Hotel property, N. Locust St. and NE 69th St. within one (1) block."

Recommended Conditions

City Staff recommends that the following conditions be considered if the Planning Commission and City Council choose to approve this project request:

- 1. All signage shall comply with approved City Standards and shall be consistent with existing Downtown Gladstone signage and Marriott Fairfield Inn and Suites Standards.*
- 2. A compliant monument sign shall be used to serve the development. The monument sign requires a minimum of 240 square feet of area landscaping around the sign or per Marriott's acceptable franchise standards.*
- 3. A fire protection system shall be installed and comply with the 2015 International Fire Code.*
- 4. All manicured grass and landscaped areas shall be irrigated and maintained in perpetuity.*
- 5. All fencing within the development boundaries shall be wrought iron style fencing.*
- 6. All exterior lighting shall be energy efficient (LED) lighting and comply with city code.*
- 7. All building mechanical equipment shall be screened from public view. Typical hotel individual room PTAC (air conditioning) units shall be acceptable.*
- 8. Service and loading areas shall be screened from public view.*
- 9. Development shall consist of best practice for sustainable design and follow the current energy and building codes.*
- 10. To the extent any retaining walls are necessary on or near the property line or adjacent to the right-of-way; retaining wall details shall be submitted and approved by city staff prior to construction. All structural walls shall be reviewed via building permit process.*
- 11. Disabled vehicles shall not be permitted on site.*

12. Tractor trailers (not registered as hotel guests) shall not be parked or stored overnight. Storage containers shall not be stored on site unless as part of a valid building permit.
13. Dumpsters and storage shall be enclosed (5 sides) and covered to adequately be screened from public view. Trash services shall be scheduled between 7:00 am – 10:00 pm.
14. Provide outdoor bike racks within development area to serve employees, visitors and the area community.
15. Water and sewer utilities must be designed and installed to city code.
16. A public art component will be incorporated into this project as approved by City Council.

"The Developer has agreed to all recommended conditions."

"City Staff recommends that the request be APPROVED contingent upon the conditions listed above."

Mr. Greer said, "With us tonight in the audience we have Josh Berger, John Hughes and Jude Beller with MAg Partners based out of Omaha. They are the Developers of this hotel."

"We also have with us tonight Rob Sadoff, Zio Pekovic, and Andrew Scarlett with Scarlett Hotel Group based out of Chicago and Nashville. They will be the Hotel operators."

"I want to thank both MAg Partners and Scarlett Hotel Group for traveling all this way and being here with us tonight."

"Thank you and that is all Madam Chairperson."

Chair McGee asked the applicant if they would like to have an opportunity to speak.

Mr. John Hughes, MAg Partners, 11550 I Street, Omaha, Nebraska 68137. Mr. Hughes shared that Austin was pretty thorough with his review and comments. They have gone through the 16 items there and they are all logical good practice suggestions and they will incorporate all of them into the plans. On the screen was a rendering of the proposed project. It pretty accurately reflected the colors. There was a sample board in the room that showed exactly what they would be using. There are 109 rooms, a mix of rooms, but a fair number of double queen rooms, which are good for families. They think they will get some good family business. They think they will get some good corporate business. He looks forward to getting started and working out the rest of the issues. Their architectural plans, the actual construction documents are 50% complete. They just received comments back from Marriott today. They will now study those and their goal, if they are approved by City Council in a couple of weeks, will be to press on the gas and get those to 100% complete so they can start construction this fall.

He introduced the Scarlett Group: Zio Pekovic, Andrew Scarlett and Rob Sadoff. He also introduced Tim Bergen, their civil engineer from Clark Enersen Partners. He also introduced Jude Ballard, Josh Berger and himself, John Hughes, from MAg Partners.

Chair McGee asked if there were any members of the audience who wished to speak in opposition of the project. None.

Chair McGee asked if there were any members of the audience who wished to speak in support of the project.

Tom Pryor, Pryor Appraisals, 405 NE 70th St, Gladstone. Mr. Pryor shared that he is adjacent to the parking lot at the project. He is in favor; he thinks it's a great project. He has concerns about parking and

he is working with the city right now to resolve some of the issues that he has. He knows that Gladstone has wanted a hotel for a long time. It's a nice Fairfield Marriott and he's looking forward to it.

Jack Wenenn, Pride Martial Arts, 70th and N Oak. Mr. Weneen is not against the project what-so-ever. He met with Scott (Wingerson) today and talked about a few things. Number one for them is they deal with a lot of children. He brought up some safety issues as far as construction. He wanted to know about barriers and how that would work out for them. He said it's not that the parents don't control their children, but when you are dealing with 4 and 5 year olds, better safe than sorry. Another item they discussed was that right now the parents are using public parking in addition to their current parking situation. That's always been a little bit of a sticky situation with the parents. Right now, not as much because they have daytime classes as well as evening classes, but when school is back in session then parking is a premium. He is willing to work with anybody, but the parking they use right now is Tom's old property. There are 14-15 spots there that they utilize quite often. He would like to know how that is going to work for them. They want to make their parents happy and if they have to take their children and park somewhere far away and walk, especially at night, it can get kind of sticky. He would definitely like to figure that part out as well. Mainly, Mondays through Thursdays are their busiest times. He is even willing to work with the hotel as well as far as overflow parking on the weekends. Friday nights they are typically not that busy by design. Saturday night their classes are done at 1:00 Saturday, so the rest of the evening of Saturday is open. He definitely wants to have a good partnership with friendly neighbors. Those are a few things he wanted to bring up to the commission. He thanked them for listening.

Chair McGee opened the comments to the Planning Commissioners.

Mr. Markenson asked Austin about his mention that tractor trailers can park on property as long as they are registered. If there are a couple of tractor trailers there it will take out a lot of their parking places.

Mr. Greer shared that the thought behind that is, for this particular hotel, that's not really the parking they will see. He didn't want to take that opportunity away from them if there was a bleed over of some sort of one or two. It's not likely.

Mr. Markenson had some questions for the developer who spoke first.

Mr. Greer asked John Hughes and Josh Berger to stand at the podium to answer questions together.

Mr. Markenson asked if they were going to have meeting facilities on the property.

Mr. Hughes replied yes. There are some conference facilities in the hotel. Those will be available to any group. You don't necessarily need to be a registered guest to use those facilities. They aren't big enough for a convention, but they can accommodate small groups. Many times you see a rotary club, or something like that, that might need a room.

Mr. Markenson asked how many employees they expect to have.

Mr. Hughes deferred to the operator of the hotel, Rob Sadoff.

Mr. Sadoff said there would be 30-40 employees.

Mr. Markenson thanked them all for coming. He said we really need a hotel here badly in Gladstone. He is tired of sending his relatives up to the airport for lodging. He has some real concerns about parking. The public parking spaces were basically promised to the Heights and are used by the Heights. And they are

used by Summit Grill and they are all full. They have a Stone Canyon opening today and they will use more of those spaces. They have 30 employees and meeting groups and 109 rooms needing parking spaces. He thinks there will be major parking problems. He would much like to see the City or the Marriott have a designated parking lot where you can send your guests. He said they are going to have a terrible mess. He already gets complaints from people going to Summit Grill because they have to park 2-2 ½ blocks away. With Stone Canyon and a hotel coming in, he thinks they will have major problems and they should try to solve them.

Mr. Greer said that he could address this concern. He doesn't believe that the public parking places are dedicated to the Heights residents. There is a parking location inside the actual complex. Right now it is just convenient for some of the Heights residents to park there. They might not be able to do that in the future with the hotel coming in or other projects that come forward. There is underutilized parking on 69th Street that go up one block. There are over 235 parking spaces that were counted within a block and without counting 70th Street or down near Locust and iWerx. The city does have some concepts right now that they are working on to address some of these parking issues, but they think it just some growing pains that people will have to get used to and learn where they can park. They are seeing that daily now. The Summit Grill is getting better. The iWerx parking is getting better, who we share a parking agreement with. After 5:00pm that becomes all public parking as well. There are just going to be some growing pains as they move forward but he thinks they will get there.

Mr. Sadoff shared that he has been operating hotels for about 20 years and they have seen less and less guests come to the hotel with a car. They come to the airport and take an Uber to the hotel. They are seeing their own location very similar. And talking about 30 employees, all 30 employees won't be there at the same time. There might be 10 tops.

Mr. Greer added that there is a misconception that hotels are traffic drivers. It is more or less the exact opposite of that.

Mr. Sadoff said they don't get much traffic coming in and out of the hotel. You will have guests leave in the morning and come back in the evening. They are talking 40-50 cars on a busy night.

Mr. Markenson said he isn't concerned about traffic; he's concerned about parking. When the Heights was approved, it was specifically said in hearings that they would have all of the parking on the fringe for the Heights residents and for the commercial development that would come into the corner. The Summit Grill brings in far more people than they ever envisioned. He has concerns about it and he wanted to lay them out.

Mr. Hughes stated that he is sensitive to parking all the time. They own a number of commercial properties in urban areas and this is really a downtown core. Downtown cores have parking that is atypical. The one-to-one parking requirement has been around for decades for suburban hotels. This isn't a suburban hotel. This is your downtown core hotel. People, guests, understand that parking works a little differently. As someone who is going to invest \$15 million in this hotel, he isn't concerned about parking being a deterrent. Like, they won't be successful because they don't have enough parking. He thinks that the 86 stalls that they have onsite are adequate parking. The parking that is available, the 200+ stalls, they realize that Summit Grill is a great driver of people, which they are excited about. They had the first meal at Stone Canyon today and he is excited about them being there too. For what it's worth, they are sensitive to it, but they feel they are adequately parked and Marriott feels they are adequately parked.

Ms. Middleton asked what they anticipate as the occupancy rate.

Mr. Sadoff said it is a ramp up over 2-3 years before they have a fully stabilized occupancy rate. They project somewhere in the 65% range up to the mid-70's once they are stabilized as an operating hotel. Hopefully it goes faster as it is better for them that way.

Ms. Middleton asked if that was out of 100+ rooms.

Mr. Sadoff replied 109.

Ms. Middleton asked when they think they will be open.

Mr. Hughes said they are projecting in the late 4th quarter of 2020.

Ms. Middleton asked Austin if there is an abandoned lot where the glass company used to be.

Mr. Greer replied that Santa Fe Glass is part of the hotel development.

Mr. Murch asked who owns the property across the street and if it is city-owned.

Mr. Greer confirmed that it is city-owned.

Mr. Murch asked if it was possible that it serves as parking as the need becomes.

Mr. Greer replied that it is always an option. He thinks the next thing they would like to do is another project on that location, until then, possibly.

Mr. Murch asked a question of Alan about the bar. He wanted to know if there are any ordinances about having a liquor license that close to the school.

Mr. Napoli shared that there are some things they have to do. He doesn't know all the ins and outs through the state; the City Clerk does. There are some things that can be done if they are close enough.

Mr. Murch said that the Innovation Center has both the college and the Sage school, and the Martial Arts Studio is saying that their students are kids as well. He was curious, they don't deal with liquor licenses, but could that be a problem for these guys.

Mr. Sadoff replied that the Summit Grill got one and the pizza place got one.

Mr. Murch said they are a little bit farther away. The building right across from you, the big high rise, there are schools in there.

Mr. Greer said it is something they will take a look at for sure.

Mr. Murch asked the developers and the management companies if they currently have a lease with the Marriott.

Mr. Berger shared that with Marriott, pretty much all Marriott's are franchised. They currently have a signed franchise agreement. It is for a 20 year term.

Mr. Murch asked if for 20 years it would remain a Fairfield.

Mr. Berger said as long as they own it, yes.

Ms. Poindexter asked if they had considered any kind of underground parking.

Mr. Hughes replied that, economically, it isn't viable.

Ms. Poindexter shared that when Linden Square was being developed and planned, one of the concerns she had was to do with parking. Not only parking but trucks that came to make deliveries. She has been down these two roads many times when she hasn't been able to go down the roads because of delivery trucks and she feels they will probably be in the same situation. She is a member of the Linden Baptist Church which is only a block away from there and they have had lots of trouble with people who have decided to park in the parking lots there because it's hard to get around here. They try not to be rude to these people but it is a concern. There is a lot of damage that has been done; lots of trash has been left. She thinks the most important thing from listening to what she heard, she heard one of them say they aren't concerned about the parking because you have additional parking for them, but they aren't looking around the neighborhood.

Mr. Hughes shared that he is saying they are comfortable that the stalls that they have on their property to serve the Marriott hotel, this development, is adequate. They are willing to make the \$15 million based on the 83 stalls they have.

Mr. Greer added that there are 109 rooms. If they were 100% occupied there would be 109 cars, right.

Mr. Hughes interjected that wasn't necessarily true.

Mr. Greer said it isn't necessarily true, but they are offering between 83 and 90 parking stalls at this time. That is well over 85-90% occupied every single night. In the hotel world, he doesn't think that is a realistic number at all. The parking they are providing onsite on their property is about 90. That should be adequate most of the time, unless there is something really great happening in Gladstone that we are really happy about when they are 100% occupied.

Mr. Hughes shared an example of there being seven (7) of them there that night. They have seven (7) hotel rooms and they have two (2) cars. That is a common occurrence in hotels. He said is there one person coming in with one room and one car, yes. It happens quite often, but it doesn't happen 100% across the guest list.

Mr. Murch asked if there had to be a zoning change or something.

Mr. Greer said there is a zoning change tonight from multiple commercial uses to a mixed use.

Mr. Murch said that eliminates setbacks, but does it eliminate the need to have 234 parking spaces.

Mr. Greer shared that the 234 parking spaces is irrelevant to the zoning that is happening tonight. With the zoning change to mixed use for a hotel, it's one parking spot per one room. They are asking tonight that it would be lowered between the Planning Commission and the City Council. He asked to confirm if that answered the question.

Mr. Murch replied that is what he had read and what he thought. They need to vote on having less than 109 parking spots.

Mr. Greer said they are agreeing with the staff report. They don't have to vote on that specifically.

Mr. New ask to clarify that they were set to start this fall and they think they will be completed by 2020.

Mr. Hughes shared that their construction documents are done September 1st and they submit for building permits on September 1st. At the same time they will go out to bid to contractors. Between the building permit and bids they figure takes about a month. They start on October 1st. The goal is to get concrete poured before winter really sets in. Then they can build comfortably over the winter. When the weather is nice again they will start to close and finish things on the inside. It's typically a 12 month process. It can be as long as 14; it's hard to go much shorter than 12 though.

Mr. New asked about the meeting rooms. In most hotels, unless you are a member/resident you can't just walk in and use a room. He asked if it was free to residents, to Gladstone residents, or at a cost.

Mr. Sadoff replied that there will be a cost. They always sell the meeting rooms to outside guests. Rarely do they have only inside guests using their rooms.

Ms. Hommon addressed John and asked if the meeting rooms were strictly meeting rooms, or could you have small weddings, what does that look like.

Mr. Hughes replied they are looking at about 500 sf. It's a large wardrobe.

Ms. Hommon addressed city staff and shared that her experience is there are actually a great deal of underutilized parking areas. Specifically with the Heights, she finds there are a lot of the residents who are parking where it is convenient for them as opposed to what is already set aside for them that other people can't park in. So it feels like it's more crowded than it is. They mentioned they are working on a plan to alleviate some of that stress and she asked what that looks like for the city and the businesses that are around that might have a concern about the accessibility to the business because of parking.

Mr. Greer shared that they have some conceptual drawings on their side and they are working with a consultant to try to provide anywhere between 30-50 parking spaces additionally in the downtown. They are having those conversations right now. They are hoping to have something in the next year or so. He agrees that there is some underutilized parking in the downtown and right now it's more convenient for the Heights but some things will have to change and we all have to be good neighbors. He thinks one of the positive things they saw tonight with Mr. Pryor and Mr. Weneen is that it seems like they are going to be willing partners and good neighbors. He thinks they will all get along and it will all work out for the better of the community.

Ms. Hommon asked if there is something in place with the Heights that is already set in their contract as a new resident at the Heights that is enforceable on where they are supposed to be parking. She asked if that was already in place or is that something they have to have built into the contract.

Mr. Greer said he wasn't sure if it was built into the contract or not, but they have a good working relationship with the property owners and he knows that they have had to ask some of the Heights residents to start parking inside. At first they aren't too thrilled about that. Then they start doing it and they get used to it. They are seeing more people parking inside.

Mx. Hernandez wondered if a lot of the issues of the residents that are parking outside the designated areas are because of the construction that's going on. They have heard that residents say the construction is blocking where they usually park. Maybe when it's done, that will help.

Mr. Greer agreed and shared that the construction is ahead of time over there so hopefully they will be out of the way while the potential hotel is being built.

Ms. Hommon asked what the timeline is on that construction being finished.

Mr. Greer said they started to have those conversations with the construction across the street at the Heights and they are aware of the proposed project and they will be good neighbors too.

Mr. New asked if there were any plans for any multi-level parking.

Mr. Greer said that in this area it isn't economical to do that.

Ms. Middleton asked the business owners present, Mr. Pryor and Mr. Weneen, if they have parking difficulties now or are they anticipating.

Mr. Weneen said they have trouble with parking now. Not so much in the summer because they have daytime classes. Some of the parents will come in early and they don't have to come in the evening. When school is back in session, the bank has been wonderful as far as overflow parking. The current parking they have behind the bank building has worked out really well. They do get several complaints a month that there is no parking. They aren't crazy about it but it is a constant concern. They work around it a little bit. Some of their employees will park on the other side of the bank. They aren't thrilled about it but they are getting used to it. They plan on growing with everything the city has done. He was talking with Scott about it earlier today, with the Summit Grill. He spoke to the manager of Stone Canyon Pizza. That happens to be one of his favorite pizza joints to begin with and their parents are very excited about it. He has parents saying they will stay parked in his parking lot and walk up to the pizza place. He says that doesn't work for the next class. They have to clear out the parking lot every 45 minutes.

Mr. Turnage asked if they have any insight into their customers and if they will be traveling through going to the airport; will they be coming to Gladstone for some reason like the Innovation Center; things like that.

Mr. Berger says he thinks it will be a draw for the area from outside. He doesn't think they will have people staying in their hotel from the airport. Most of them will be coming from out of town.

Mr. Turnage asked if they will be staying multiple nights.

Mr. Berger replied that he hopes it is multiple nights. Typically, it is about 1.8 nights per stay. Most guests will stay two (2) nights.

Ms. Poindexter asked what the draw is for people to come to this hotel.

Mr. Berger replied that people will be coming from downtown. They see a lot of different community businesses that will bring business. The Community Center next door will bring business as well.

Mr. Ebenroth shared that he is excited for the hotel to come. He asked about the plan reviews and that there were only two (2) who had replied. Marc had in his the need to move FDC out next to PIV. He has no idea what that means.

Mr. Greer said it has to do with the fire department and they have already spoken with the developer and they are working it out.

Mr. Ebenroth asked about the second plan review that shows approval but he can't read the signature of who approved it. He suggested that they check their name on the list shown.

Mx. Hernandez said they were very excited about the hotel. It sounds really cool. They like the idea of getting more jobs in the area. They asked Mr. Pryor and Mr. Weneen if they have any concern or worry in regards to perhaps being priced out of the area as downtown Gladstone continues to develop and continues to grow; that they won't be able to afford the location they are in down the road, or is that a concern.

Mr. Weneen asked if they were referring to taxes going up.

Mx. Hernandez confirmed yes.

Mr. Weneen says he brought that up and he doesn't know the answer to that. It is a concern of his.

Mx. Hernandez shared they would like Gladstone, as a city, to review our policies to see what protections we have in place for the smaller businesses, for Mom and Pop shops. They aren't savvy on it and wondered if smaller businesses get tax cuts for what's going on or are the property taxes going back in to those specific areas.

Mr. Pryor said he intends to turn his building into a retail building eventually. He thinks that would fit into downtown lifestyle. He has no concerns about being driven out.

Mr. Markenson asked if the city owns the five parcels of land.

Mr. Greer confirmed they do.

Mr. Markenson asked if the city will sell them to Marriott.

Mr. Greer replied that it is part of the entire incentive package.

Ms. Hommon shared that it is really important that they don't penalize the possibility of development because of poor choices of our public on where they may or may not park. Along that same line, she feels we are very fortunate to live in a place where our police department is close by so someone walking a block in the dark is a lot safer; we're not talking about downtown Kansas City. She also believes that when you are talking about growing a community and everything they are doing right now as a community that lack of parking is a good thing. It means we are growing and doing the right things and we are also fortunate to be in a city that is motivated by that and motivated by fixing those problems. If we never have the problem there's never going to be a fix.

Mr. Whitten mentioned the abundance of lighting on the lot which will probably illuminate the whole area. He thinks it will help as far as crime. He asked if they have quite a bit of lighting on the parking lot.

Mr. Berger said their lighting plans meets the city requirements; the balance of enough lighting and not too much lighting. It is on all night long.

Chair McGee closed the public hearing.

MOTION ON THE REPLAT: By Mr. Ebenroth, seconded by Mr. Whitten, to approve the Replat, Fairfield by Marriott, File #2019-009. The motion carried 12-0.

MOTION ON THE ZONING CHANGE: By Mx. Hernandez, seconded by Ms. Hommon, to approve the Zoning Change, Fairfield by Marriott, File #2019-009. The motion carried 12-0.

MOTION ON THE SITE PLAN REVISION: By Mr. Turnage, seconded by Mr. Whitten, to approve the Site Plan Revision, Fairfield by Marriott, File #2019-009. The motion carried 12-0.

6. **Communications from City Council.** Mayor Pro Tem Moore thanked the Commissioners and shared that she knows they take a lot of time and they are very important. She thanked them for their time and energy and she also thanked the developers and operators for being here tonight. She reminded everyone that Stone Canyon opened officially today. She had the opportunity to be there Saturday night for a soft opening and she can tell them they won't be disappointed. It's going to be great.
7. **Communications from City Staff.** Mr. Greer shared that on August 5th the Planning Commission will hear zoning changes for medical marijuana. On August 19th, the Commission will hear the proposed gas station/convenience store located at the old Tanners building. He shared that there will be a Health & Safety Fair on Thursday, July 18th at the Gladstone Community Center between 7:30am and 11:00am. It is free and open to the public.
8. **Communications from Planning Commission Members.** Ms. Hommon said that she has had the opportunity twice to go to Stone Canyon, a benefit of being their neighbor. She said it's amazing; please go. They've done a beautiful job inside. They've warmed that space up. It's a really, really great addition to our community.

Mr. Markenson shared that last Saturday at the Atkins-Johnson Farm they had children's garden day. Two hundred and twenty one people attended and they had the best time. Every one of those kids left happy. He didn't see a bratty kid in the whole bunch. We have good kids in our community. He asked about the Kendallwood Senior Housing that they approved years ago and wondered how it was coming.

Mr. Napoli said they are wrapping up phase 1 which is the independent living. Phase 2 is the short term skilled nursing. That phase took a little longer in that they had to get some state approvals and other departments. They ran seven (7) months behind the architect was spending all their money. They are back on track but they are about 6-7 months behind. They hope to have the independent living open before the summer is over. The short term skilled nursing will be late fall or winter.

Mr. Turnage shared that they have been waiting for years for a hotel in Gladstone. End of comment.

Ms. Poindexter shared that she is excited about the hotel too, but she, reluctantly, has to notify them that tonight will be her last night for the Planning Commission. She and her husband have decided to relocate to northeast Arkansas and they will move there by the end of the month. She said it has been a pleasure for many years. She has learned a lot she hopes to carry that through to the next city she lives in.

Mr. Markenson wished her good luck and Mr. Greer thanked her for her service.

Mr. Murch gave kudos to the Parks & Rec department. He said on the weekends, every time he drives by Linden Square for the bands it is standing room only.

Mr. Whitton said he is glad to see the hotel come to town. He has been a long time resident here and one of the oldest businessmen in this town. He really thinks this is great. He hates to see Shari leave.

9. **Adjournment.** Mr. New motioned to adjourn; Mx. Hernandez seconded.

Chair McGee adjourned the meeting at 7:45pm.

Respectfully submitted:

Cheryl Lamb, Recording Secretary

Approved as corrected _____

Jennifer McGee, Chair

Approved as submitted _____



St. Joseph News-Press • Smithville Herald • Kearney Courier • Liberty Tribune • Gladstone Dispatch • Green Acres Publication • Daily Star-Journal • Read It Free • NWMO • Atchison Globe • Hiawatha World • Miami County Republic • Osawatomie Graphic • Louburg Herald • Read It Free • Miami County

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Proof of Ad 06/24/19

Account: 90701	Ad ID: 6604371	Discount: \$0.00
Name: CHERYL LAMB	Description: Hearing 2019-009.Review 6901	
Company: CITY OF GLADSTONE	N Oak Trfwy	
Address: 7010 N. HOLMES	Run Dates: 06/27/19 to 06/27/19	Gross: \$33.88
GLADSTONE, MO 64118	Class: 170	Paid Amount:- \$0.00
Telephone: (816) 423-4110	Orig User: SANDRAR	Amount Due: \$33.88
	Words: 123	
	Lines: 25	
	Agate Lines: 41	

Publication	Start	Stop	Inserts	Cost
Courier Tribune	06/27/19	06/27/19	1	\$22.59
Gladstone Dispatch	06/27/19	06/27/19	1	\$11.29

(Published in the Courier-Tribune Thurs., 6/27/19)

PUBLIC HEARING #2019-009

All persons are hereby notified that the **Gladstone Planning Commission will conduct a public hearing on Monday, July 15, 2019 at 7:00 pm** in the Council Chambers of Gladstone City Hall to **review a Replat, Zoning Change and Site Plan Revision for the property at 6901 N Oak Trafficway** legally described as LINDEN LT 8 & 9 BK 25 in the City of Gladstone, Clay County, Missouri. Applicant: MAg Partners. Owner: City of Gladstone. Subsequently, at a **special meeting on Monday, July 29, 2019 at 7:30 pm, the City Council will hold a public hearing on the same request.** The public is invited to attend. Please call 423-4110 if you have any questions.

Proof



MEMO

7-9-19

To: City of Gladstone
From: MAg Partners
CC: Austin Greer
Re: Fair Field Inn and Suites

PROJECT INFORMATION

The Fairfield Inn and Suites select service hotel will be developed following the most current Marriott prototype and will have full features and amenities associated with this flag type. The development will use best design and construction practices in terms of sustainability throughout the project and on into operations of the hotel business.

Site

- Storm water will be captured and conveyed via storm water system into a regional detention system via best management practices
- The entry and porticoche is designed for easy traffic flow both vehicular and pedestrian
- Landscaping and hard scaping will be used in and around the entry and throughout the site to help mitigate runoff and enhance aesthetics
- Site lighting will be designed to minimize light pollution and will be LED
- Bike racks will be installed on property to provide and encourage alternate methods of travel.

Building – Architectural

- Exterior materials will be high quality following Marriott standards
- Roofing system will include R30 insulation and a white TPO membrane to reduce heat island effect
- Interior materials will include low VOC paints, adhesives, and flooring materials
- No smoking will be allowed in or around the building within standard Marriott distance of entrances.

Building – MEP Systems

- HVAC systems will follow all energy code compliant equipment per Marriott standards
- Plumbing fixtures will follow Marriott standards and reduce water consumption through low flow
- LED lighting will be use on site and in the building for fixtures per approved Marriott standards

Final Plat Linden Reserve

A Replat of Lots 3-11, together with part of Lots 1, 2 and 12, all of Block 25, Linden, a subdivision in Gladstone, Clay County, Missouri, lying in the Northeast Quarter of Section 23, Township 51 North, Range 33 West

Property Description:

All of Tract 2, Replat of Lot 1, 2 and 3, Block 25, Linden, together with all of Lots 4, 5, 6, 7, 8, 9, 10 and 11, and part of Lot 12, all of Block 25 of Linden, both subdivisions in the City of Gladstone, Clay County, Missouri, all lying in the Northeast Quarter of Section 23, Township 51 North, Range 33 West, more particularly described as follows:

BEGINNING at the Northeast corner of Tract 2 of Replat of Lot 1, 2 and 3, Block 25, Linden, a subdivision in the City of Gladstone, Clay County, Missouri, thence South 00 degrees 28 minutes 40 seconds West, on the East line of said Tract 2, and on the East line of Lot 4, 5, 6 and 7, all in Block 25 of Linden, a subdivision in the City of Gladstone, Clay County, Missouri, a distance of 371.62 feet to the Southeast corner of said Lot 7, thence North 89 degrees 30 minutes 51 seconds West, on the South line of said Lot 7, and on the South line of Lot 8, Block 25 of said Linden, a distance of 248.01 feet to the Southwest corner of said Lot 8, thence North 00 degrees 28 minutes 40 seconds East, on the West line of said Lot 8, and on the West line of Lots 9, 10, 11 and 12, all in Block 25 of said Linden, a distance of 220.47 feet to a point, thence South 89 degrees 30 minutes 51 seconds East, a distance of 123.65 feet to a point on the East line of said Lot 12, said point also being the West line of said Tract 2, thence North 00 degrees 28 minutes 40 seconds East, on said East line of said Lot 12, a distance of 43.89 feet to the Southeast corner of said Tract 1 of Replat of Lot 1, 2 and 3, Block 25, Linden, thence South 89 degrees 30 minutes 51 seconds East, on the East line of said Tract 1, a distance of 80.00 feet to the Southeast corner of said Tract 1, thence North 00 degrees 28 minutes 40 seconds East, on the East line of said Tract 1, a distance of 80.00 feet to the Northeast corner of said Tract 1, said corner also lying on the North line of said Tract 2, thence South 89 degrees 30 minutes 51 seconds East, on said North line, a distance of 44.36 feet to the POINT OF BEGINNING, containing 67,134 Square Feet or 1.5412 Acres, more or less.

Dedication:

The undersigned owner of the property described herein have the same to be subdivided in the manner shown on this plat and said property shall hereafter be known as "Linden Reserve." It shall be a sufficient description of the lots on this plat to hereafter designate the same by the number appearing near the center of the lot followed by the words "Linden Reserve."

An easement or license is also hereby granted to the City of Gladstone, Missouri to locate, construct and maintain, and to authorize the location, construction, maintenance or use of conduits, for all and any purpose, water, gas and sewer mains, poles, wires, antennas and appurtenances thereto, or any or all of them upon, under and along the strips of land outlined in this plat and designated "Utility Easement" or "U/E."

An easement or license is also hereby granted to the City of Gladstone, Missouri to locate, construct and maintain, and to authorize the location, construction, maintenance or use of water mains, pipes, valves, structures and appurtenances thereto, or any or all of them upon, under and along the strips of land outlined in this plat and designated "Water Easement" or "W/E."

Execution:

OWNER of Lot 1: City of Gladstone, Missouri

In testimony whereof, the undersigned owner has/have hereunto set their hand(s) this _____ day of _____ 2019.

Owner:

State of Missouri)

County of Clay) JSS

On this _____ day of _____, 2019, before me personally appeared the above persons, to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

In witness whereof, I have hereunto set my hand and affixed my notarial seal at my office in said county and state the day and year last written above.

My appointment expires:

Signature

Surveyor's Notes:

- Boats of Bearings - Held the North line of Block 25 of Linden at S89°42'13"E, Missouri State Plane Grid System, MAG 83, West Zone, Estate 0'42" to match Replat of Lot 1, 2 and 3, Block 25, Linden, recorded at Book 16, Page 177.
- Subject Property lies within "Zone X" - Areas determined to be outside the 0.2% annual chance floodplain, according to FEMA Flood Insurance Rate Map Number 22047C0202E, Effective Date August 3, 2015.
- Subject Property contains 67,134 Square Feet or 1.5412 Acres, more or less.
- Subject Property meets or exceeds the current standards for "Urban" Class Property Surveys, as defined by the Department of Insurance, Financial Institutions and Professional Regulation, Division 2030, Chapter 18, Title 20 CSR 2030-18-040 - Accuracy Standards for Property Boundary Surveys, Effective June 30, 2017.
- Subject Property was last conveyed in Book 7871, Page 67, Book 7661, Page 110, Book 7334, Page 66, Book 7922, Page 83 & Book 5086, Page 31.

Certification:

I hereby certify that the within Final Plat of "Linden Reserve", a subdivision, is based on an actual survey made by me or under my direct supervision and that survey meets or exceeds the current "Missouri Standards for Property Boundary Surveys" as established by the Missouri Board for Architects, Professional Engineers and Land Surveyors in Division 2030 - Chapter 18 (20 CSR 2030-18). I further certify that the bearings shown on this plat are based on the State Plane Coordinate System of Missouri, Western Zone of the North American Datum of 1983; that the section and section subdivision corner monuments and survey boundary corner monuments were either found or set as indicated on this plat; that the corner lots and street center lines have been marked with permanent monumentation as indicated on this plat; that I have complied with all State and Clay County Statutes, ordinances, and regulations governing the practice of Surveying and the platting of subdivisions to the best of my professional knowledge and belief.



Date: _____
By: Timothy D. Wren, M.D. PLS No. 2008000067
Tewell@tewell.com

Approvals:

Approved by the planning commission of the City of Gladstone, Missouri, this _____ day of _____, 2019.

Chairman _____

Approved by the city council of the City of Gladstone, Missouri, this _____ day of _____, 2019.

City Clerk _____

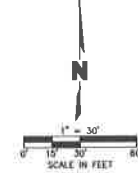
Carol Suter, Mayor

Ruth Bacchina, City Clerk



Section 23, T51N, R33W
VICINITY MAP
Scale: 1" = 2000'

Point Table			Point Table		
Point #	Grid Northing (m)	Grid Easting (m)	Point #	Grid Northing (m)	Grid Easting (m)
1	336078.2742	843075.0887	5	336078.0880	843476.7057
2	336083.1151	843114.0892	6	336078.1887	843476.0181
3	336083.1852	843438.3005	7	336078.0833	843476.2080
4	336083.8468	843438.0035	8	336078.0447	843476.7050



Lot Summary Table		
Lot #	Area	Area
1	67,134 S.F.	1.5412 AC.
2	67,134 S.F.	1.5412 AC.
3	67,134 S.F.	1.5412 AC.

olsson

Section 23, T51N, R33W
VICINITY MAP
Scale: 1" = 2000'

REVISIONS

DATE

Final Plat
Linden Reserve

Approved For:
Mag. Porters
11550 I Street, Suite 200
Omaha, Nebraska 68137
Telephone (402) 403-1823

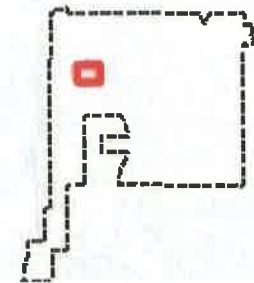
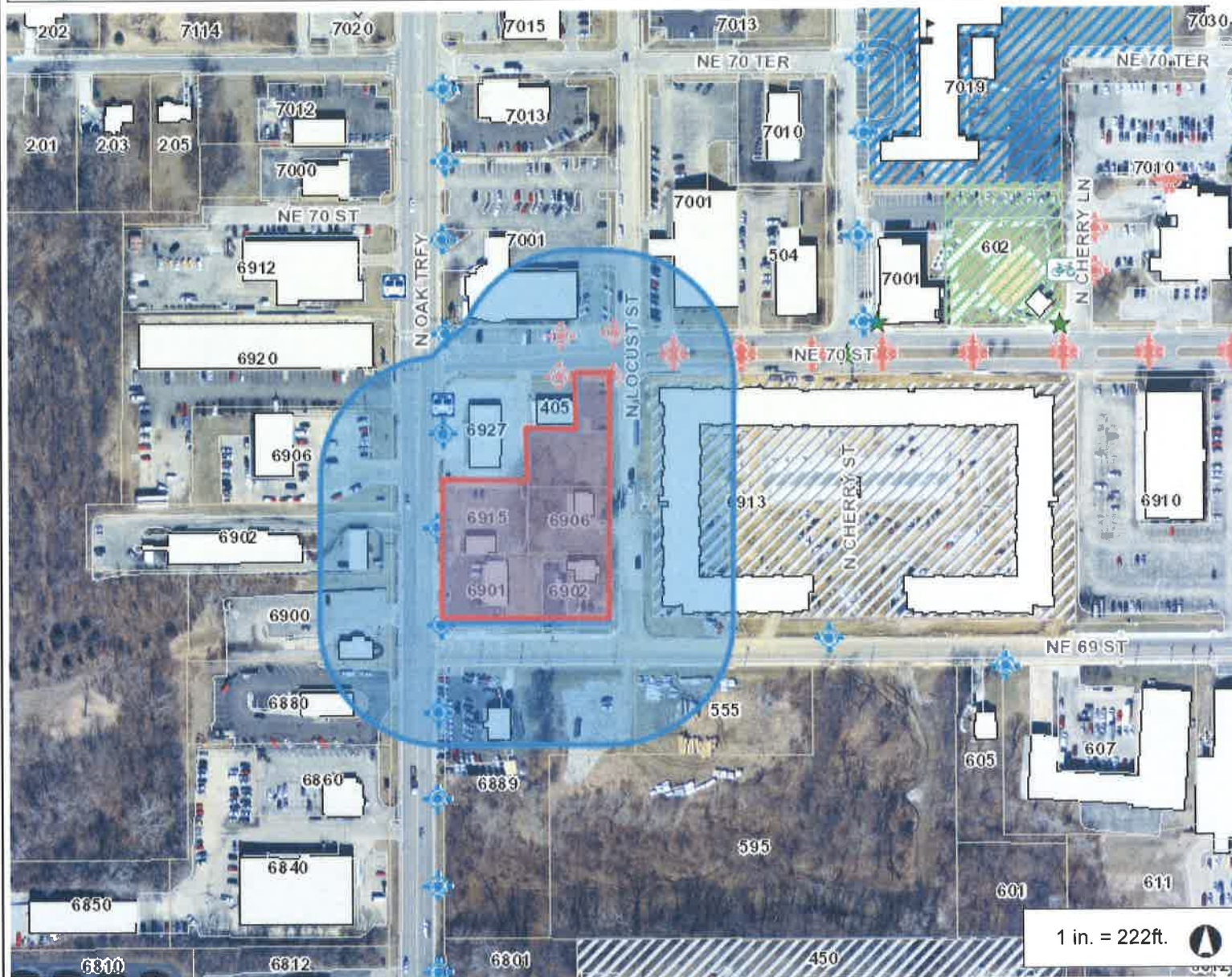
Prepared By:
City of Gladstone
7010 N. Holmes Street
Gladstone, Missouri 64116
Telephone (816) 436-2700

7301 W. 133rd Street, Suite 200
Overland Park, Kansas 66212
Telephone (913) 381-1120

SHEET
1 of 1



Gladstone, MO



Legend

- KCPL Lights
- Gladstone Lights
- School Point
- Bike Parking
- Bus Stop
- Point of Interest
- Church
- Apartment Point
- Street Centerline
- Edge Of Pavement
- Driveway
- City Limits
- Parcel
- House Number
- Building Footprint
- School Polygon
- City Park
- Villages
- Apartment Polygon

Notes

File 2019-009 6901 N Oak
Fairfield Marriott Hotel
185' Map

444.9 0 222.45 444.9 Feet

1 in. = 222ft.



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



Fairfield
BY MARRIOTT
INN & SUITES

GLADSTONE, MO

Prototype Version : GEN 4.5 / 2018.08.24
Project No. B4-173-1901



BASE⁴

BASE4
2801 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

Seal



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 2019.06.10

DRAWN BY MM

CHECKED BY JPP

SCALE AS NOTED

PROJECT NO. (B4-173-1901)

SHEET NAME

COVER SHEET

DRAWING NO.

A1.0



1

A1.1



1

SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"



FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	4,361
2ND LEVEL FLOOR PLAN	35,369
3RD LEVEL FLOOR PLAN	29,239
4TH LEVEL FLOOR PLAN	35,333
5TH LEVEL FLOOR PLAN	18,310
TOTAL	122,512

ROOM TYPE	ROOM MATRIX						%	NO. OF BEDS
	1ST	2ND	3RD	4TH	5TH	TOTAL		
WING SUITE	0	2	1	1	1	5	17%	0
WING SUITE	0	2	2	1	1	6	7%	0
ACCESSIBLE KING CONNECTING	0	0	1	1	1	3	2%	0
COURT GARDEN	0	14	22	10	12	60	40%	100
COURT GARDEN CONNECTING	0	0	1	1	1	3	2%	0
ACCESSIBLE COURT GARDEN	0	0	0	0	1	1	1%	0
ACCESSIBLE COURT GARDEN - BIL	0	1	0	0	0	1	1%	0
WING SUITE	0	1	0	0	0	1	1%	0
WING SUITE SUITE	0	0	1	1	1	3	2%	0
WING SUITE CONNECTING	0	1	1	1	1	4	4%	0
ACCESSIBLE WING SUITE	0	0	1	0	0	1	1%	0
COURT GARDEN SUITE	0	0	0	0	1	1	1%	0
ACCESSIBLE COURT GARDEN SUITE	0	0	0	0	1	1	1%	0
GRAND TOTAL	0	22	29	20	20	100	100%	100



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Mark



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FAIRFIELD INN & SUITES
GLADSTONE, MO

NO.	ISSUE DATE	PROJECT STATUS

DATE 2018 06 10

DRAWN BY MM

CHECKED BY PP

SCALE AS NOTED

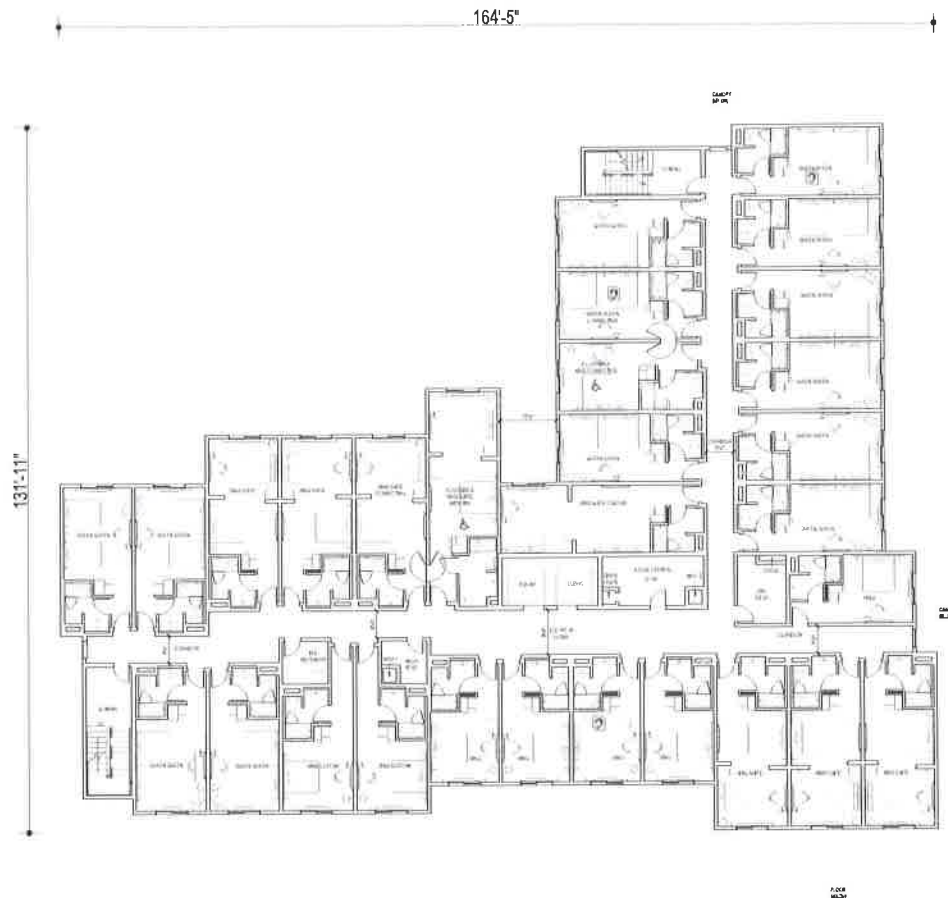
PROJECT NO. B4-173-1001

SHEET NAME

FLOOR PLAN

DRAWING NO.

A2.2



FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	8,361
2ND LEVEL FLOOR PLAN	33,383
3RD LEVEL FLOOR PLAN	33,089
4TH LEVEL FLOOR PLAN	18,279
5TH LEVEL FLOOR PLAN	18,075
TOTAL	108,187

ROOM MATRIX									
ROOM TYPE	3RD	2ND	3RD	4TH	5TH	TOTAL	%	NO. OF BEDS	
KING	0	3	5	5	5	18	15%	18	
KING CLOSET	0	2	1	1	2	6	5%	6	
ACCESSIBLE KING CONNECTING	0	0	1	1	1	3	3%	3	
QUEEN SUITE	0	14	11	12	12	50	40%	100	
QUEEN QUEEN CONNECTING	0	0	1	1	1	3	3%	6	
ACCESSIBLE QUEEN QUEEN	0	0	0	0	1	1	1%	2	
ACCESSIBLE QUEEN QUEEN, RM	0	1	0	0	0	1	1%	2	
KING SUITE	0	1	5	5	4	15	14%	30	
KING SUITE CLOSET	0	0	1	1	1	3	3%	6	
QUEEN SUITE CONNECTING	0	1	1	1	1	4	4%	8	
ACCESSIBLE KING SUITE, RM	0	0	1	0	0	1	1%	2	
QUEEN SUITE SUITE	0	0	0	0	1	1	1%	2	
ACCESSIBLE QUEEN SUITE	0	0	0	0	1	1	1%	2	
GRAND TOTAL	0	22	20	20	20	100	100%	196	



BASE⁴

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Seal

(Noted)



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE: 2019.05.10

DRAWN BY: MM

CHECKED BY: PP

SCALE: AS NOTED

PROJECT NO: (18-172-1901)

SHEET NAME:

FLOOR PLAN

DRAWING NO:

A2.3



FLOOR AREA (SF)	
3RD LEVEL FLOOR PLAN	9,361
2ND LEVEL FLOOR PLAN	15,518
1ST LEVEL FLOOR PLAN	16,295
4TH LEVEL FLOOR PLAN	15,199
5TH LEVEL FLOOR PLAN	18,129
TOTAL	64,502

ROOM TYPE	ROOM MATRIX							%	NO. OF BEDS
	1ST	2ND	3RD	4TH	5TH	TOTAL			
RNG	0	2	0	0	0	2	17%		2
RNG-CLUB	0	2	0	0	0	2			2
ACCESSIBLE RNG CONNECTING	0	0	0	0	0	0			0
CLUB-CLUB	0	14	12	12	12	50	40%		10
CLUB-CLUB CONNECTING	0	0	0	0	0	0			0
ACCESSIBLE CLUB-CLUB	0	0	0	0	0	0			0
ACCESSIBLE CLUB-CLUB R/S	0	0	0	0	0	0			0
RNG-SUITE	0	0	0	0	0	0			0
RNG-SUITE CONNECTING	0	0	0	0	0	0			0
ACCESSIBLE RNG-SUITE	0	0	0	0	0	0			0
ACCESSIBLE RNG-SUITE R/S	0	0	0	0	0	0			0
CLUB-CLUB R/S	0	0	0	0	0	0			0
ACCESSIBLE CLUB-CLUB R/S	0	0	0	0	0	0			0
GRAND TOTAL	0	22	24	24	24	94	100%	100%	36

1

FOURTH FLOOR PLAN
SCALE: 1/32" = 1'-0"



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Date:



Fairfield
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GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 2018 06 10

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SCALE AS NOTED

PROJECT NO B4-173-1901

SHEET NAME

FLOOR PLAN

DRAWING NO

A2.4



BASE4

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Scale:

Client:



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FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE: 2019.06.10

DRAWN BY: MM

CHECKED BY: PP

SCALE: AS NOTED

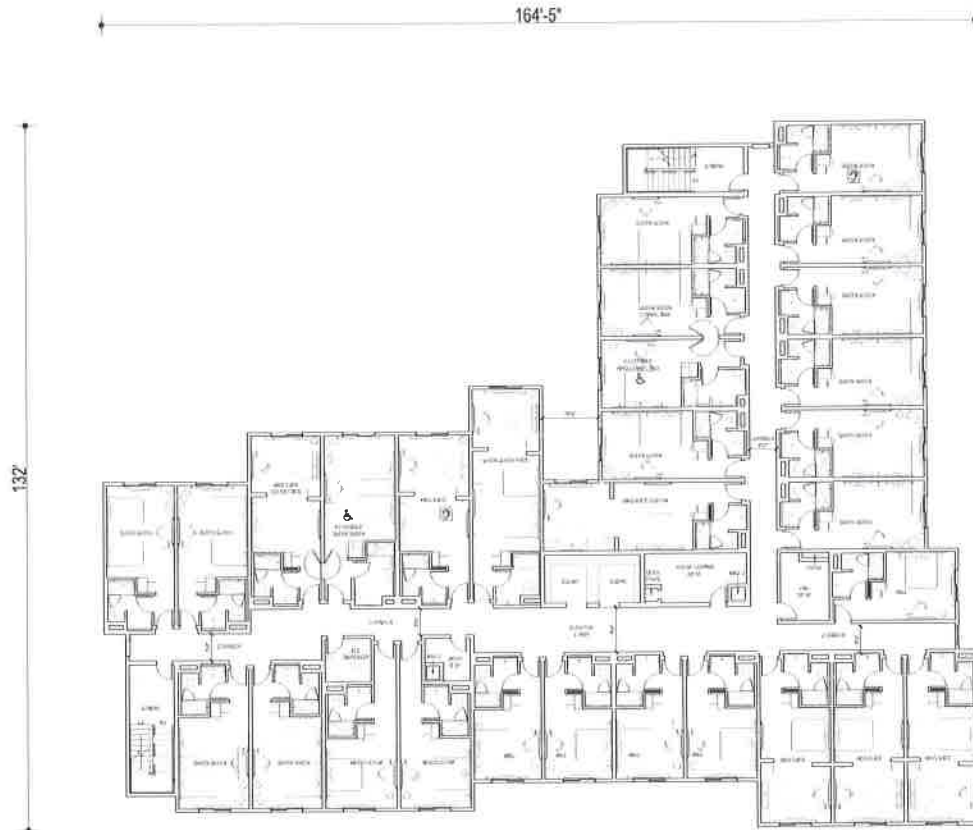
PROJECT NO: 184-173-1001

SHEET NAME

FLOOR PLAN

DRAWING NO.

A2.5



FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	8,801
2ND LEVEL FLOOR PLAN	15,302
3RD LEVEL FLOOR PLAN	14,239
4TH LEVEL FLOOR PLAN	14,239
5TH LEVEL FLOOR PLAN	14,239
TOTAL	66,800

ROOM TYPE	ROOM MATRIX						%	NOS. OF MEBS.
	EST	FIN	IMP	GR	STH	TOTAL		
SUITE	0	3	0	0	0	3	1%	10
SUITE CONNECTING	0	2	0	0	0	2	0%	9
ACCESSIBLE SUITE CONNECTING	0	0	1	0	0	1	0%	3
SUITE GARDEN	0	14	14	0	0	28	48%	100
SUITE GARDEN CONNECTING	0	0	1	0	0	1	0%	0
ACCESSIBLE SUITE GARDEN	0	0	0	0	0	0	0%	0
ACCESSIBLE SUITE GARDEN W/	0	1	0	0	0	1	1%	3
SUITE SUITE	0	1	0	0	0	1	1%	10
SUITE SUITE CONNECTING	0	0	1	0	0	1	0%	0
ACCESSIBLE SUITE SUITE	0	0	1	0	0	1	1%	3
SUITE SUITE SUITE	0	0	0	0	0	0	0%	0
ACCESSIBLE SUITE SUITE SUITE	0	0	0	0	0	0	0%	0
GRAND TOTAL	0	23	29	29	29	100	100%	150

1 FIFTH FLOOR PLAN
SCALE: 3/32" = 1'-0"



LEGEND-EXTERIOR FINISHES			
NUMBER	MTL BRAND	FINISH COLOR	IMAGE
01	LAP HANG JAMES MIDE	CISALMA TEXTURE TOWER 8-18	
02	ETS UNVT	CONCRETE TEXTURE WHITE 208	
03	ETS UNVT	CONCRETE TEXTURE WHITE 208	
04	ETS UNVT	CONCRETE TEXTURE WHITE 208	
05	ETS UNVT	CONCRETE TEXTURE WHITE 208	
06	WALLBOARD	STACHED SIGN SIDER CLING	

1 NORTH ELEVATION
A3.2 - 1.0



2 WEST ELEVATION
A3.2 - 1.0



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Scale

Owner



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

REV	ISSUE DATE	PROJECT STATUS

DATE: 2019.06.10

DRAWN BY: MBI

CHECKED BY: JG

SCALE: AS NOTED

PROJECT NO: B4-173-1501

SHEET NAME

ELEVATIONS

DRAWING NO

A3.1



BASE4

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Fairfield
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GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 2019 06 10

DRAWN BY MM

CHECKED BY PP

SCALE AS NOTED

PROJECT NO B4-173 1901

SHEET NAME

ELEVATIONS

DRAWING NO

A3.2



1 SOUTH ELEVATION
3/32" = 1' 0"



2 EAST ELEVATION
3/32" = 1' 0"



1 NORTH ELEVATION (PART VIEW)
SCALE 1/4" = 1'-0"



CHANNEL LETTER SPECIFICATIONS

Channel Letter Specifications:
Construction: 3" X .040" aluminum channel letter with .063" aluminum backs

Face Material: 3/16" 2447 white acrylic

For trimless letters, 7/16" 2447 white acrylic to be used
Trim Cap: 1" black

* For "By Marriott" and "Inn & Suites" channel letters with letter strokes less than 1" (on 24" "Fairfield" letter sets and smaller), trimless letters should be used

Illumination: GE White LED's as required (225 lumen output)

Exterior Finish: Pre-finished black

Interior Finish: Paint reflective white

Channel Letter Face Specifications:

Face Material: 3/16" 2447 white acrylic with dual-color film to match Pantone® 5405 C blue - "Fairfield" and 3/16" 2447 white acrylic with 3635-222 dual-color film - "Inn & Suites by Marriott" For trimless letters, 7/16" 2447 white acrylic to be used with edges of letter faces painted black.

	A	B	C	D	E	F
F-24CL-2L	24"	7"	7 1/16"	1'-4 3/16"	4'-0 3/4"	10'-2 7/16"
F-30CL-2L	30"	8 3/4"	8 13/16"	1'-8 1/4"	5'-1"	12'-9 1/16"
F-36CL-2L	36"	10 1/2"	10 9/16"	2'-0 5/16"	6'-1 3/16"	15'-3 5/8"
F-48CL-2L	48"	1'-2"	1'-2 1/16"	2'-8 7/16"	8'-1 9/16"	20'-4 7/8"

* Letter height determined by the height of the letter "F"

2 SIGNAGE DETAILS



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Client



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 2019.06.10

DRAWN BY MM

CHECKED BY #

SCALE AS NOTED

PROJECT NO. B4-173-1901

SHEET NAME

SIGNAGE DETAILS

DRAWING NO.

A5.1



1 WEST ELEVATION (PART VIEW)
SCALE: 1/4" = 1'-0"



CHANNEL LETTER SPECIFICATIONS

Channel Letter Specifications:

Construction: 3" X .040" aluminum channel letter with .063" aluminum backs

Face Material: 3/16" 7328 white acrylic

For trimless letters, 7/16" 7328 white acrylic to be used

Trim Cap: 1" black

* For "By Marriott" and "Inn & Suites" channel letters with letter strokes less than 1" (on 24" "Fairfield" letter sets and smaller), trimless letters should be used.

Illumination: GE White LED's as required (225 lumen output)

Exterior Finish: Pre-finished black

Interior Finish: Paint reflective white

Channel Letter Face Specifications:

Face Material: 3/16" 7328 white acrylic. For trimless letters for "By Marriott" and "Inn & Suites", faces to be 7/16" 2447 white acrylic with edges painted black.

	A	B	C	D	E	F
F-24CL-2L	24"	7"	7 1/16"	1'-4 3/16"	4'-0 3/4"	10'-2 7/16"
F-30CL-2L	30"	8 3/4"	8 13/16"	1'-8 1/4"	5'-1"	12'-9 1/16"
F-36CL-2L	36"	10 1/2"	10 9/16"	2'-0 5/16"	6'-1 3/16"	15'-3 5/8"
F-48CL-2L	48"	1'-2"	1'-2 1/16"	2'-8 7/16"	8'-1 9/16"	20'-4 7/8"

* Letter height determined by the height of the letter "F"

2 SIGNAGE DETAILS



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Client



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE: 2019.06.10

DRAWN BY: MM

CHECKED BY: PP

SCALE: AS NOTED

PROJECT NO: B4-173-1901

SHEET NAME

SIGNAGE DETAILS

DRAWING NO.

A5.2



1 WEST ELEVATION (PART VIEW)
SCALE: 1/4" = 1'-0"



PORTE COCHERE LETTER SPECIFICATIONS For Dark Colored Backgrounds

Letter Specifications:
Construction: .063" non-illuminated aluminum channel letter
Face Material: .125" routed aluminum
Illumination: Exterior flood lighting
Exterior Finish: Paint Pantone® 5405 C blue and Pantone® 877 C Silver, Satin Finish

* Mounting studs to be included to stand letters off of wall a minimum of 1/2"

Letters to stand off wall minimum of 1/2"

Letter height 12" typical



Side Profile



Day and Night Appearance



Letter Positioning | "by Marriott" letters are always right justified to "Fairfield"

2 SIGNAGE DETAILS



BASE4

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Seal

Stamp



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 2018.06.10

DRAWN BY MM

CHECKED BY PP

SCALE AS NOTED

PROJECT NO. 04-173-1001

SHEET NAME

SIGNAGE DETAILS

DRAWING NO.

A5.3

MONUMENT SPECIFICATIONS

Monument Specifications:

Construction: Aluminum angle frame with .125" aluminum shoe-box style faces

Face Construction: Routed aluminum with backer panel

Retainer: Bleed face

Illumination: GE White LED's

Exterior Finish: Paint Pantone® 5405 C blue, satin finish and Pantone® 877 C Silver, satin finish

Interior Finish: Paint reflective white

Monument Face Specifications:

Face Construction: Routed aluminum with backer panel

Face Decoration: Paint Pantone® 5405 C blue, satin finish

Backer Panel: .118" white solar grade polycarbonate

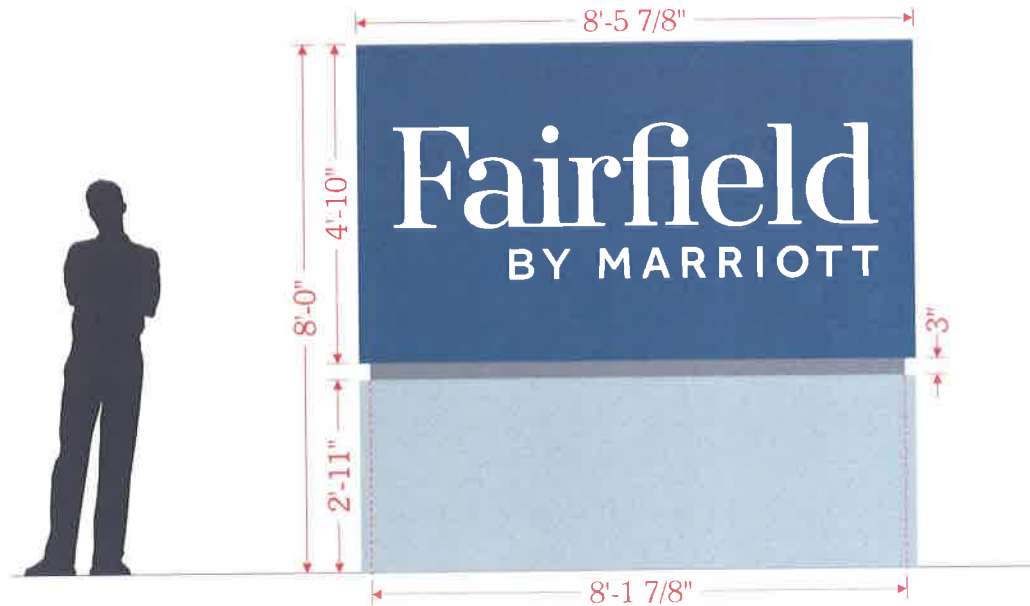
* "Fairfield Inn & Suites" and "Marriott" to appear white during the day and illuminate white at night

Pole Cover Specifications:

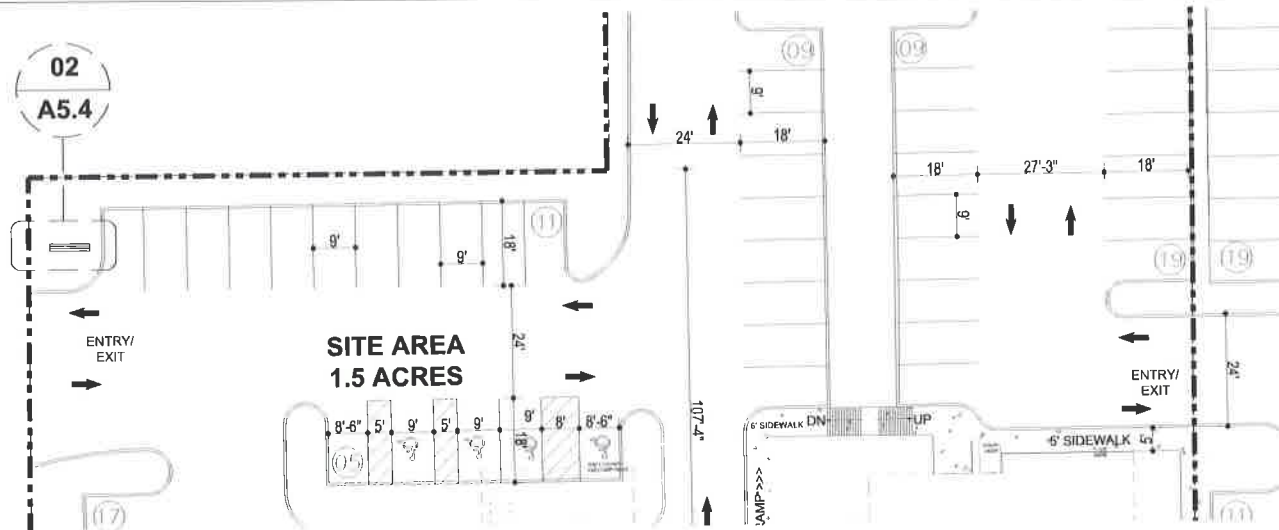
* Preferred method to have monument base match building hardscape (stone, brick, etc., provided by general contractor)

Construction: Aluminum angle frame with .080" aluminum skins

Exterior Finish: Paint Matthews 41342SP Brushed Aluminum, satin finish



2 MONUMENT SIGN



1 SITE PLAN (MONUMENT LOCATION)

SCALE 1" = 20'-0"



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Drawn:



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 2019.06.10

DRAWN BY MM

CHECKED BY PP

SCALE AS NOTED

PROJECT NO B4-173-1901

SHEET NAME

MONUMENT SIGN

DRAWING NO.













A5.4

LEGENDS

- [illegible]

- [illegible]

41. STAKING OF ELECTRICAL TRENCHES: AFTER ELECTRICAL TRENCHES ARE MARKED FOR LOCATING BY THE ELECTRICAL SUBCONTRACTOR, ADJUSTMENTS ARE TO BE MADE FOR THE ASSIGNED PROJECT SURVEYORS TO LOCATE THE MARKED POINTS AND TRANSFER THE POINT INFORMATION TO THE SITE. CIVIL DESIGN ENGINEER ASSIGNED TO THE PROJECT SHALL VERIFY THESE GRADATIONS SHALL BE TRANSFERRED TO THE ASSIGNED PROJECT SURVEYOR TO PROVIDE TRENCH DIMENSIONS INDICATING FINAL GRADE TO INSURE THE UTILITY BURIAL DEPTHS ARE MAINTAINED. THE ELECTRICAL SUBCONTRACTOR IS TO VERIFY THAT TRENCH DEPTHS RELATIVE TO FINISH GRADE ARE AS STATED.
42. ALL SPANCRAFT CONDITIONS SHALL BE PROVIDED WITH A FULL LINE.
43. INSTALLATION GUIDELINES SHALL CONFORM TO CURRENT PRACTICES.
44. ALL EQUIPMENT INCLUDING PUMP, GENERATOR, PADI MOUNTED GENERATOR LIGHTS AND PSC. TRANSFORMERS SHALL BE PROVIDED WITH AN ANTI-TILT DEVICE TO PREVENT TIPPING.
45. EQUIPMENT SHALL BE PROVIDED WITH AN ANTI-TILT DEVICE TO PREVENT TIPPING.

- | | |
|---|---------------------|
|  | CABLED CONNECTION |
|  | CABLED TO THE CABLE |
|  | CABLED TO THE CABLE |
|  | CABLED TO THE CABLE |
|  | CABLED TO THE CABLE |
|  | CABLED TO THE CABLE |
|  | CABLED TO THE CABLE |
|  | CABLED TO THE CABLE |
|  | CABLED TO THE CABLE |
|  | CABLED TO THE CABLE |
|  | CABLED TO THE CABLE |
|  | CABLED TO THE CABLE |

ABBREVIATIONS

- [illegible]

SITE LIGHTING GENERAL NOTES:

- [illegible]

MANUFACTURER - EATON LIGHTING
CATALOG - PRV-A40-D-UNV-T4-BZ-HSS
INPUT WATTAGE - 143 WATTS
COLOR TEMP - 4000K
FIXTURE - Z64

MANUFACTURER - EATON LIGHTING
 CATALOG - ISC-AF-350-LED-E1-T2-GM-BBB-ULG
 INPUT WATTAGE - 36.79 WATTS.
 COLOR TEMP - 4000K
 FIXTURE - Z38



BASE

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See

Chen



MAG
PARTNERS

Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE MO

NO.	ISSUE DATE	PROJECT STATUS
DATE 2019 06 03		
DRAWN BY		M/M
CHECKED BY		GM
SCALE		AS NOTED
PROJECT NO.		B-173-190
SHEET NAME		
SITE LIGHTING NOTES AND ABBREVIATIONS		
DRAWN BY: [Signature]		

五、结论与讨论

SL001



See

414



FAIRFIELD INN & SUITES
GLADSTONE, MO

DATE: 2019.06.03

DRAWN BY _____ MM _____

DRAWN BY _____ MM _____

CHECKED BY GMA

SCALE AS NOTED

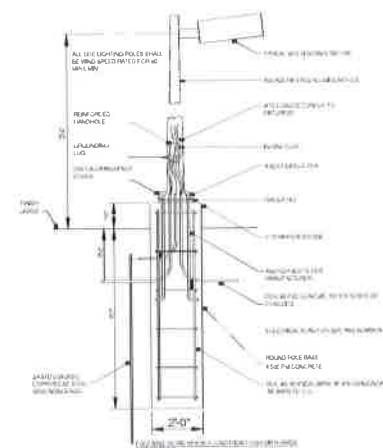
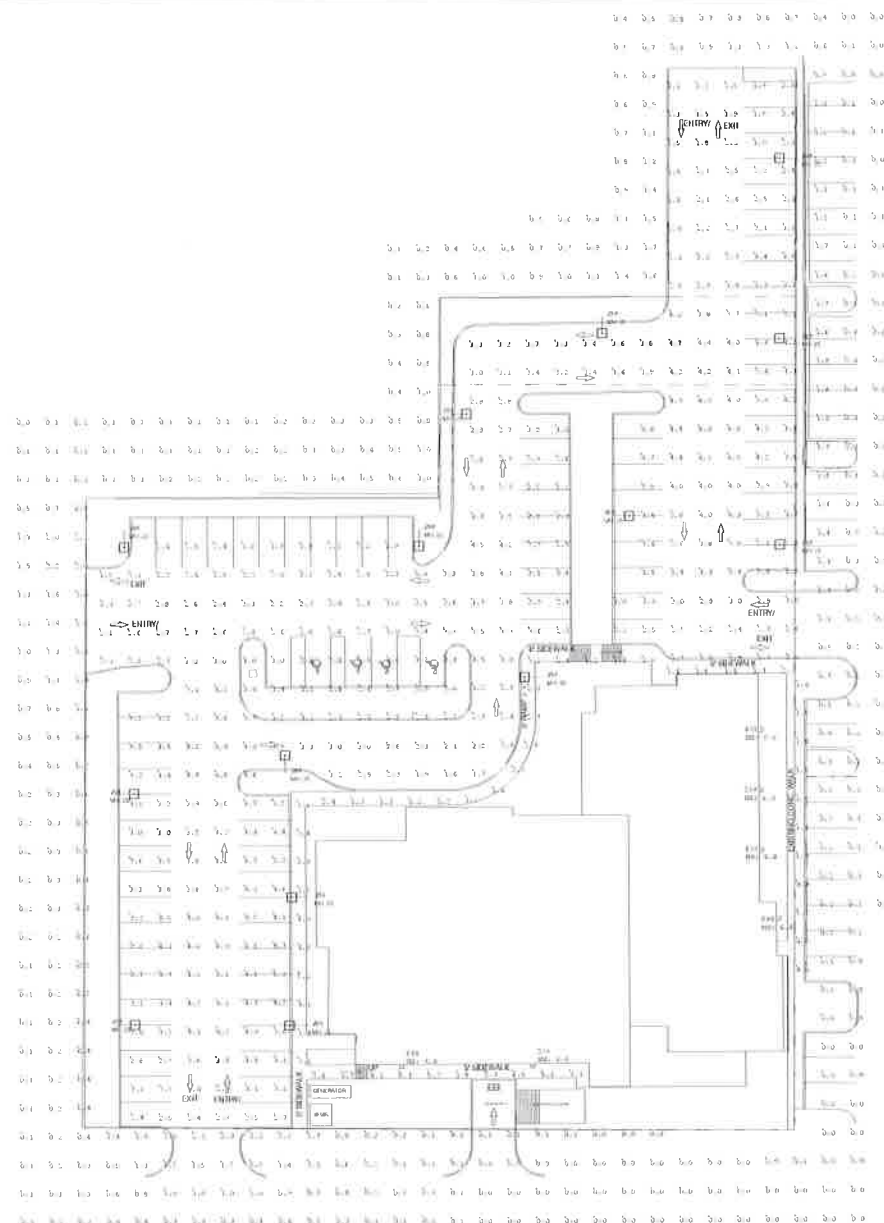
PROJECT NO. 84-173-1801

SHEET NAME

SITE PHOTOMETRICS PLAN

DRAWING NO.

SL002



POLE BASE DETAIL

Serial	Year	Unit	Program	LT	Faculty	Name	Vol. (M)	Vol. (L)
1	14	24	SKCC	1.00	SKCC (14/14/14/14/14)	SKCC (14/14/14/14/14)	14	14
2	14	24	SKCC	1.00	SKCC (14/14/14/14/14)	SKCC (14/14/14/14/14)	14	14

Calculus	Calculus	1990	1991	1992	1993	1994	1995
Calculus	Calculus	1.0	1.0	1.0	1.0	1.0	1.0
Calculus	Calculus	1.0	1.0	1.0	1.0	1.0	1.0
Calculus	Calculus	1.0	1.0	1.0	1.0	1.0	1.0



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Seal

Owner



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 2018.06.10

DRAWN BY MM

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SCALE AS NOTED

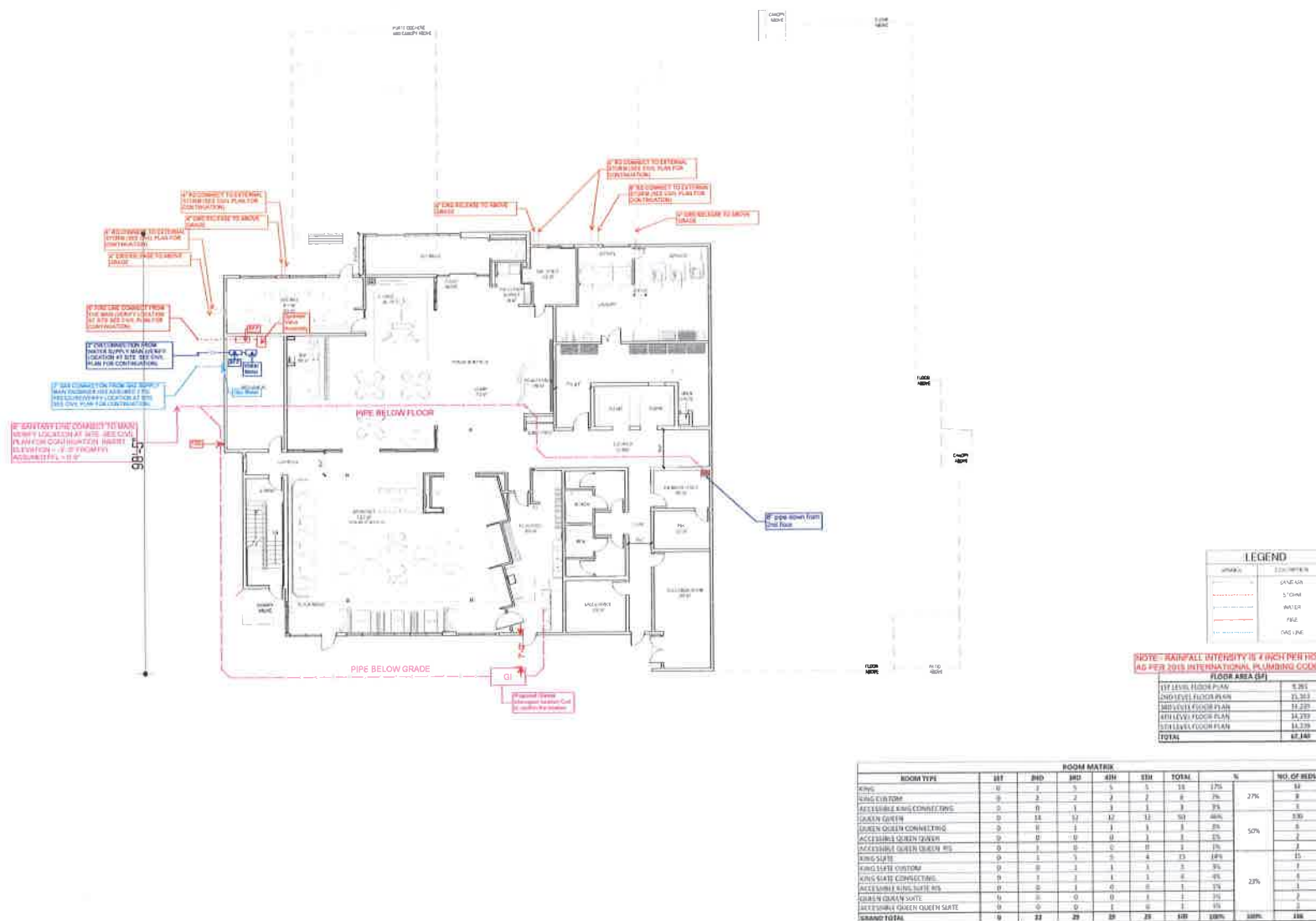
PROJECT NO. B4-173-1001

SHEET NAME

FLOOR PLAN

DRAWING NO.

A2.1





FLOOR AREA (SF)	
FIRST LEVEL FLOOR PLAN	75,881
SECOND LEVEL FLOOR PLAN	15,229
THIRD LEVEL FLOOR PLAN	15,229
FOURTH LEVEL FLOOR PLAN	15,229
FIFTH LEVEL FLOOR PLAN	15,229
TOTAL	136,597

ROOM MATRIX									
ROOM TYPE	EST	PROJ	REV	REV	STN	TOTAL	%	W/O OF BEDS	
KING	10	2	1	1	1	15	17%	30	
KING CUSTOM	10	2	1	1	1	15	17%	30	
ACCESSIBLE KING CONNECTING	0	0	1	1	1	1	1%	2	
QUEEN SUITE	0	0	1	1	1	1	1%	2	
QUEEN SUITE CONNECTING	0	0	1	1	1	1	1%	2	
ACCESSIBLE QUEEN SUITE	0	0	1	1	1	1	1%	2	
ACCESSIBLE QUEEN SUITE W/O	0	0	1	1	1	1	1%	2	
KING SUITE	0	1	1	1	1	3	3%	6	
KING SUITE CUSTOM	0	1	1	1	1	3	3%	6	
KING SUITE CONNECTING	0	1	1	1	1	3	3%	6	
ACCESSIBLE KING SUITE W/O	0	1	1	1	1	3	3%	6	
QUEEN SUITE W/O	0	1	1	1	1	3	3%	6	
ACCESSIBLE QUEEN SUITE W/O	0	1	1	1	1	3	3%	6	
GRAND TOTAL	10	22	29	29	29	136	100%	270	

1 SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"



BASE4

BASE4
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Seal

Drawn



Fairfield
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INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 2010 06 10

DRAWN BY MJA

CHECKED BY PP

SCALE AS NOTED

PROJECT NO. 04-123-1001

SHEET NAME

FLOOR PLAN

DRAWING NO.

A2.2

NE 70TH STREET

NORTH OAK TRAFFICWAY

NORTH LOCUST STREET

NE 69TH STREET

SITE PLANTING PLAN

SCALE: 1/8" = 1'-0"



BASE4
2801 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33486
www.base-4.com

Self

Client:



Fairfield
by MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

PLANTING PLAN NOTES:

1. FIRM GRACE AND NO ANY AREA DAMAGED BY CONSTRUCTION OPERATIONS (NOT ON) EVIDENCE INDICATED ON PLAN, TYP.
2. PROVIDE 1" TYPICAL FOR TURF AREAS, 14" FOR PLANTING BEDS, 18" FOR SITE TOPSOIL, OR PLANTING BEDS SHALL BE LAYER, 14" TYP.
3. PLAN PREPARED BY: [Name]



SOD TYPE 'A':
FOR APPROVED EQUAL
SOD (RECOMMENDED TALL FENCE 800
[AS PATENT NO. 5,117,114])

SEED TYPE 'B':
FOR APPROVED EQUAL
TUFFHARTING BUREAU SEED MIXTURE
BY NATIONAL SEED
SEEDING RATE 3.11 LB/M2 OR 1.1 LB/100

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE & METHOD OF HANDLING	QUANTITY	HEIGHT & SPREAD
1.00	BEACH PALM (LAVANDEA ALBA)	BEACH PALM	10' TALL, 10' WIDE, 10' DEEP	10	10' TALL, 10' WIDE, 10' DEEP
2.00	FLORIDA PALM (LAVANDEA ALBA)	FLORIDA PALM	10' TALL, 10' WIDE, 10' DEEP	10	10' TALL, 10' WIDE, 10' DEEP
3.00	FLORIDA PALM (LAVANDEA ALBA)	FLORIDA PALM	10' TALL, 10' WIDE, 10' DEEP	10	10' TALL, 10' WIDE, 10' DEEP
4.00	FLORIDA PALM (LAVANDEA ALBA)	FLORIDA PALM	10' TALL, 10' WIDE, 10' DEEP	10	10' TALL, 10' WIDE, 10' DEEP
5.00	FLORIDA PALM (LAVANDEA ALBA)	FLORIDA PALM	10' TALL, 10' WIDE, 10' DEEP	10	10' TALL, 10' WIDE, 10' DEEP
6.00	FLORIDA PALM (LAVANDEA ALBA)	FLORIDA PALM	10' TALL, 10' WIDE, 10' DEEP	10	10' TALL, 10' WIDE, 10' DEEP
7.00	FLORIDA PALM (LAVANDEA ALBA)	FLORIDA PALM	10' TALL, 10' WIDE, 10' DEEP	10	10' TALL, 10' WIDE, 10' DEEP
8.00	FLORIDA PALM (LAVANDEA ALBA)	FLORIDA PALM	10' TALL, 10' WIDE, 10' DEEP	10	10' TALL, 10' WIDE, 10' DEEP
9.00	FLORIDA PALM (LAVANDEA ALBA)	FLORIDA PALM	10' TALL, 10' WIDE, 10' DEEP	10	10' TALL, 10' WIDE, 10' DEEP
10.00	FLORIDA PALM (LAVANDEA ALBA)	FLORIDA PALM	10' TALL, 10' WIDE, 10' DEEP	10	10' TALL, 10' WIDE, 10' DEEP

PLANTING NOTES:

1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS COORDINATE WITH LANDSCAPE ARCHITECT.
2. MAKE THE NORTH SIDE OF THE TREE IN THE MARGUERY AND ROTATE TREE TO FACE NORTH TO THE SITE WHEREVER POSSIBLE.
3. SET TOP OF TRUNK 1.5 INCHES ABOVE FINISHED GRADE.
4. APPLY 2" THICK MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT WITH TRUNK.
5. APPLY TREE GUARD TO TRUNK FROM THE STAFF PLANTING. REMOVE AT 18 INCHES.
6. EXPOSED TRUNK SHALL BE PLANTED WITH THE TRUNK STAYS IN VISIBLE AT THE TOP OF THE POST ONLY. WHERE TRUNK IS IN VISIBLE, TRUNK SHALL BE PLANTED DO NOT COVER THE TOP OF THE TRUNK WITH MULCH.
7. REMOVE ALL TRUNK ROPE WIRE AND BURLAP FROM THE ROOT BALL.
8. IN ALL CASES, TRUNK SHALL BE ON OR ELEVATED ON FIRMED SOIL, TOP.

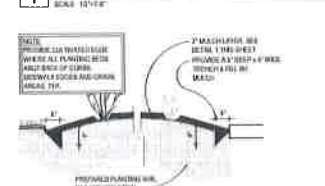
STANDARD PLANTING NOTES:

1. STAKING SHALL BE AT APPROVAL OF LANDSCAPE ARCHITECT. TREE SHALL NOT BE ABLE TO SUPPORT ITSELF WITHOUT STAKING.
2. WIRE / CABLE SHALL BE ONLY TAGGED FOR TRUNK. LATCHES 10' CAL. TAGGING FOR TRUNK OVER 7' CAL.
3. TRUNK SHALL BE PLANTED FOR TRUNK TO BE PLANTED. PLANTING SHALL BE LONG ENOUGH TO ACCORD. MOORE 1 1/2' OF GROUND.
4. 1/2" SLOTTED SHALL BE 1/2" 1/2" WIDENED FOR EQUAL.

PERMANENT PLANTING NOTES:

1. BREAK UP EXISTING SOIL TO A DEPTH OF 14".
2. PROVIDE 12" NEW TOPSOIL AND BLEND WITH EXISTING TOP SOIL OF SITE.
3. TRUNK SHALL BE COMFORT IN TOP SOIL OF SITE.
4. APPLY 2" THICK OF MULCH ON PERMANENT 10' AND 10' DO NOT COVER PLANTS.
5. BE TRUNK 10' HAVE DEPTH AT WHICH IT GROWS IN THE FIELD OR CONTAINER.
6. TRUNK SHALL BE PLANTED. MULCH SHALL BE PLANTED. HORTICULTURAL PRACTICE.
7. BURLAP WATERING. WHEN MULCH IS IN COMPLETE WATER, THROUGHLY WATER, NO MORE THAN 1/2" DEEP.

1. PLANTING INSTALLATION DETAILS



2. CULTIVATED MULCH EDGE

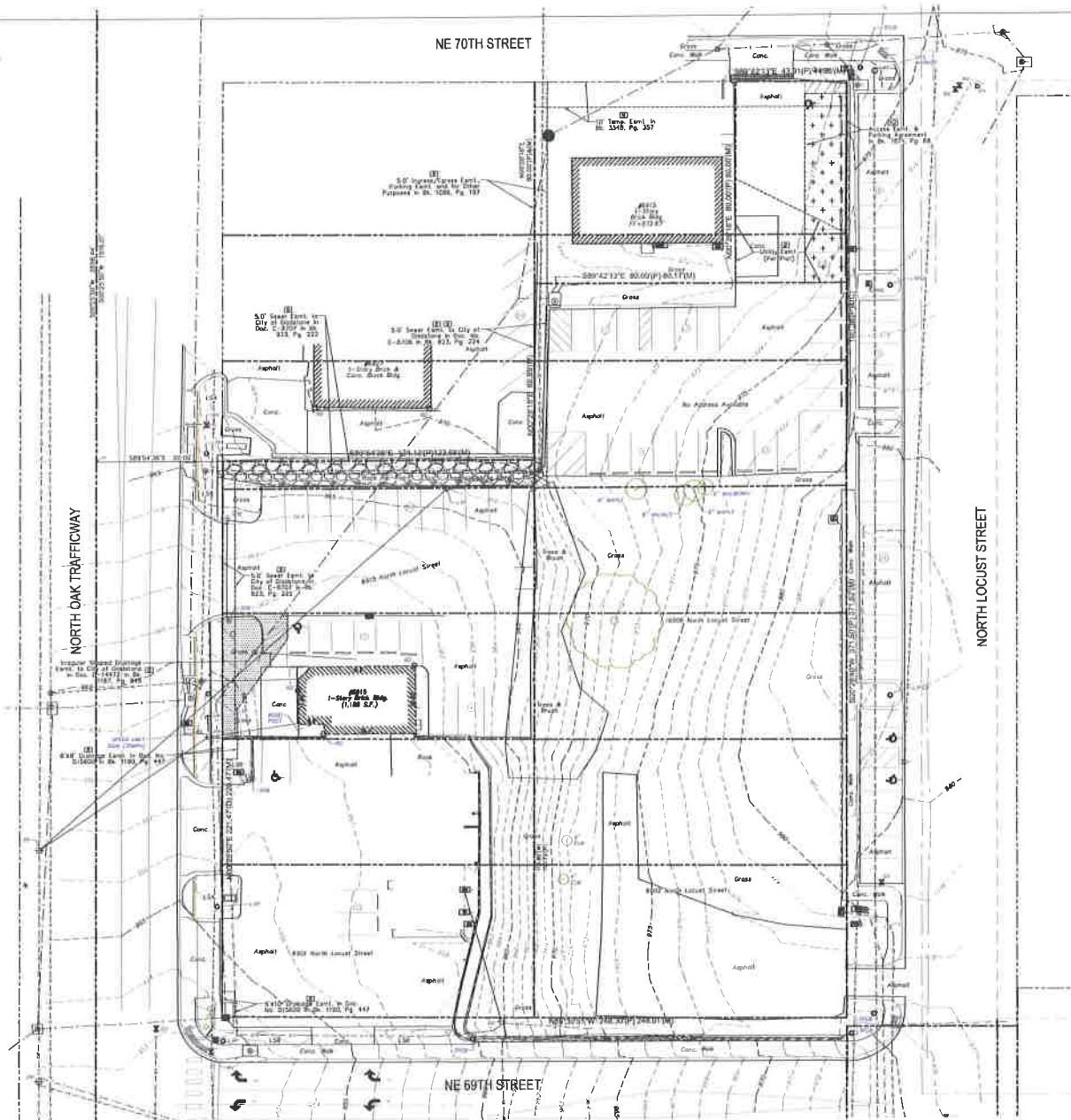
SCALE: 1/8" = 1'-0"

No.	ISSUE DATE	PROJECT STATUS
1	2019 06 12	AS NOTED
2	2019 06 12	AS NOTED
3	2019 06 12	AS NOTED
4	2019 06 12	AS NOTED
5	2019 06 12	AS NOTED
6	2019 06 12	AS NOTED
7	2019 06 12	AS NOTED
8	2019 06 12	AS NOTED
9	2019 06 12	AS NOTED
10	2019 06 12	AS NOTED

Site Planting Plan

DRAWING NO.

L1.01



EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"



BASE4
2901 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

Owner:
Marriott AS PER CONSTRUCTION DOCUMENTS



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

SITE INFORMATION

LEGAL DESCRIPTION: UNDIVIDED LOT 1 & 2
LOCATION: 1100 N. LOCUST STREET, GLADSTONE, MO 64111
OWNER: CLARK ENERSEN PARTNERS & CO. SOUTHERN
DESIGNED BY: MARRIOTT
TOTAL BUILDING AREA: 11,111 SQ. FT.
ACCESSIBLE STALLS PROVIDED: 10 (1:16)

LEGEND

PROPERTY LINE
EXISTING WATER SERVICE
EXISTING WATER MAIN
EXISTING SANITARY SEWER
EXISTING SANITARY MAIN
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING UNDERGROUND TV LINE
EXISTING UNDERGROUND FIBER LINE

NO.	ISSUE DATE	PROJECT STATUS

DATE: 2019 06 12

DRAWN BY: MM

CHECKED BY: PP

SCALE: AS NOTED

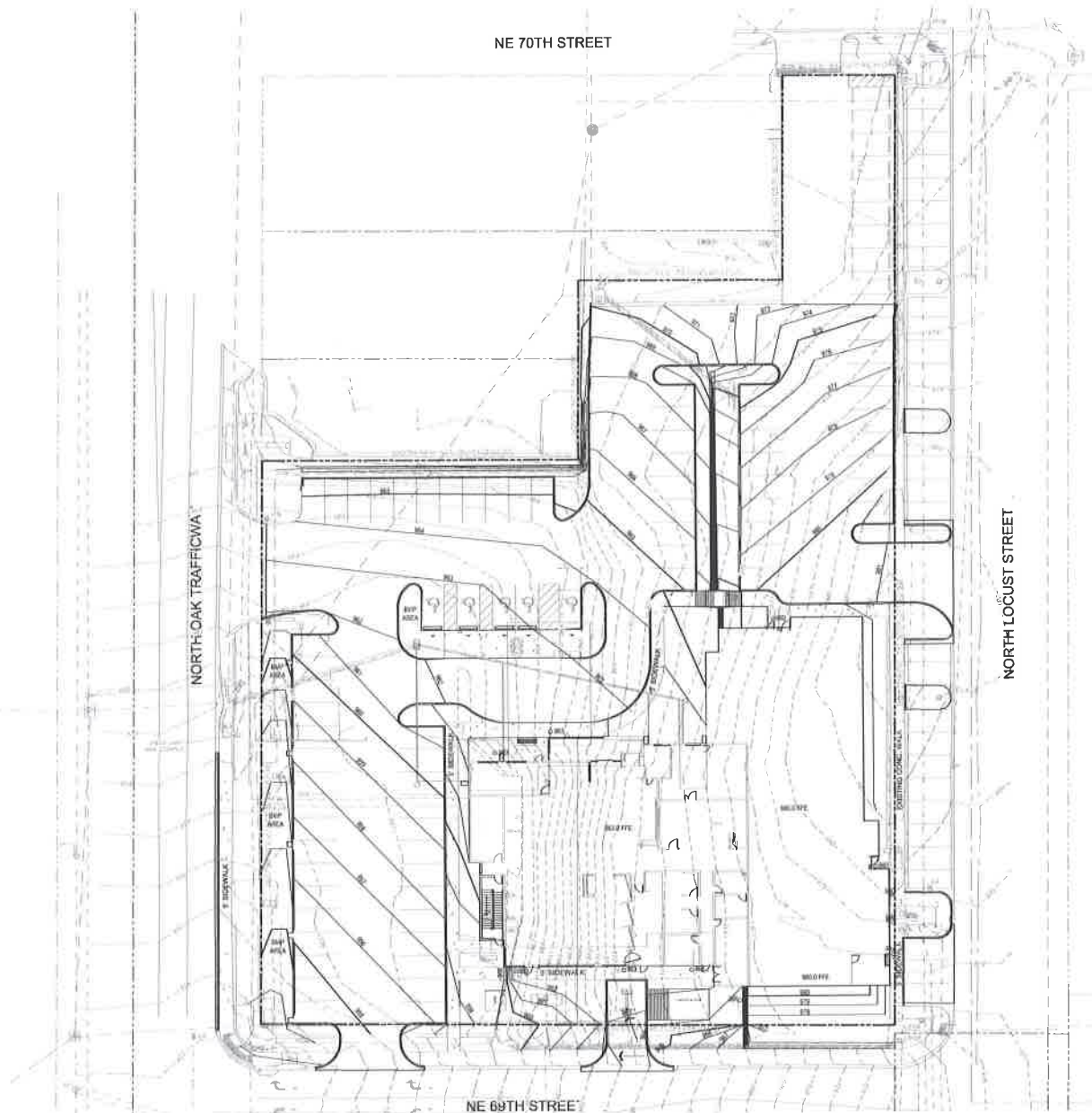
PROJECT NO: 019-173-1901

SHEET NAME:

Existing Conditions

DRAWING NO.

C1.01



SITE GRADING PLAN
SCALE: 1/8" = 1'-0"



CLARK ENERSEN PARTNERS
1000 N. GARDEN AVENUE
SUITE 100
BOCA RATON, FL 33432
(561) 995-1000
www.clark-enserse.com



BASE4
2901 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

GRADING NOTES

1. THE PROPOSED CONTOURS REPRESENT THE TOP OF BLANK TOP OF CURB OR TOP OF SIDEWALK OR PAVEMENT. IN ALL OTHER AREAS, THEY REPRESENT THE FINISHED GRADE SURFACE. THE CONTRACTOR SHALL PLACE THE SITE AT SURFACE ELEVATION IN PAVING (PT) AND SIDEWALK AREAS.
2. ALL LINES SHOWING DRAINAGE FLOW ARE TO BACK OF CURB OR SIDE OF PAVEMENT, UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTLEMENT DUE TO IMPROPER COMPACT.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY TOLERANCES WILL TAKE PLACE BEFORE THE PROPERTY LINE.
6. ALL EXISTING CURB VESSEL SHALL BE REMOVED FROM WITHIN THE LIMITS OF GRADING PRIOR TO PLACEMENT OF PAVEMENT, AND RECONSTRUCTED TO THE TOP OF CURB, 2" TYPICAL, WITHIN 1" OF 1/8" AND 1/8" OF 1/8" TYPICAL.
7. SURFACING TOPSOIL SHALL BE SAVED AND STOCKPILED IN THE CONTRACTOR'S YARD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE STOCKPILE FROM WEATHER AND OTHER DAMAGE. STOCKPILE SHALL BE COVERED WITH TARP OR OTHER MEANS TO PREVENT SOIL LOSS. STOCKPILE SHALL BE COVERED WITH TARP OR OTHER MEANS TO PREVENT SOIL LOSS.
8. TOPSOIL SHALL BE PLACED AS PART OF THE EXCAVATION SHALL BE PLACED TO A MINIMUM DEPTH OF 6 INCHES OVER A HARD SUBSTRATE. THE SOIL SHALL BE FIRM AND FREE OF ROCKS AND LAMINAE. SHALL BE REMOVED OR BROKEN UP AND THE TOPSOIL SHALL BE REAPPLIED AND HANDLED TO MATCH EXISTING GRASS. SOILS OF OTHER TYPES OR OTHER THAN FIRM SHALL BE REMOVED PRIOR TO PLACEMENT OF TOPSOIL. ALL EXISTING SOILS WITH WEATHERED OR OTHER PROBLEMS SHALL BE REMOVED BY THE CONTRACTOR.
9. EXCAVATION SHALL BE COVERED WITHIN 10 DAYS OF COMPLETION.
10. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE LOCAL HEALTH DEPT. TO VERIFY POSITIVE DRAINAGE TO THE STORM DRAIN.
11. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING FOR ALL VERTICAL AND HORIZONTAL AREAS.
12. CONTRACTOR SHALL GRADE TO EXISTING SURFACE OR TO EXISTING GRADE.
13. AT THE COMPLETION OF GRADING, THE CONTRACTOR SHALL REMOVE ANY EXCESS EXCAVATION 1-40' FROM THE SITE.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS PRIOR TO COMMENCING CONSTRUCTION.
15. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES IF NECESSARY.
16. ANY GEOTECHNICAL TESTING REPORTS REQUIRED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE OWNER AND THE ENGINEER.
17. ONCE EXCAVATION AND REMOVAL OPERATIONS ARE COMPLETE, THE CONTRACTOR SHALL PROTECT THE AREAS TO BE GRADED STRUCTURALLY. THE CONTRACTOR SHALL INFORM THE GEOTECHNICAL ENGINEER PRIOR TO BEGINNING OF PROOFROLLING. THE GEOTECHNICAL ENGINEER SHALL WITNESS ALL PROOFROLLING.
18. FULL TIME OBSERVATION AND TESTING BY A QUALIFIED TESTING LAB OR PROFESSIONAL GEOTECHNICAL ENGINEER SHALL OCCUR TO MONITOR SITE DURING REMOVAL OF EXISTING FILL AND FILL IN THE BUILDING AREA (UNSATURATED MATERIALS) AND PROOFROLLING AND FILL PLACEMENT.

LEGEND

- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

Scale

Owner:

ALL PERMITS DOCUMENTS



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

NO.	ISSUE DATE	PROJECT STATUS

DATE 2019 06 12

DRAWN BY MM

CHECKED BY PP

SCALE AS NOTED

PROJECT NO. 19-123-1001

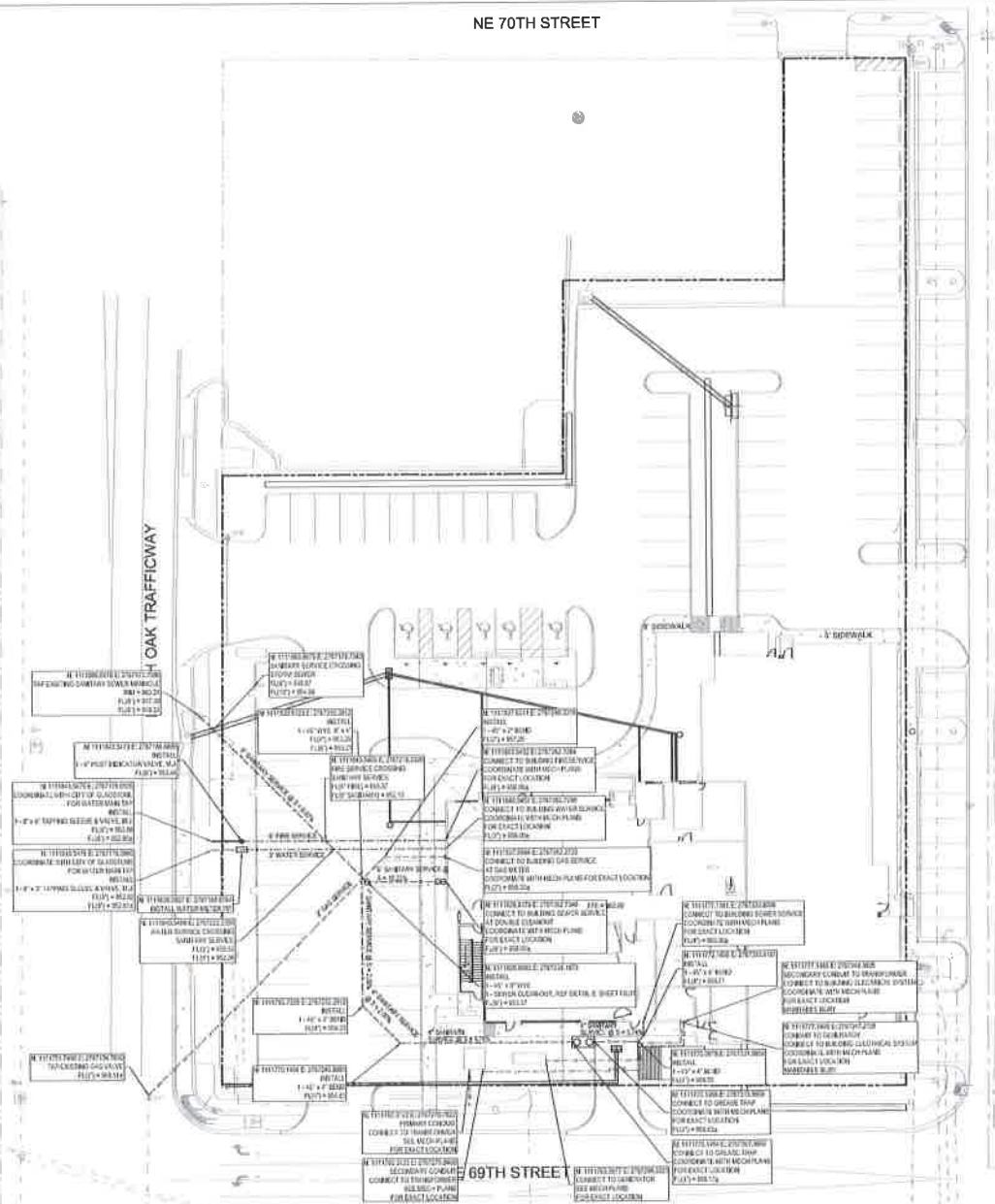
SHEET NAME

Site Grading Plan

DRAWING NO.

C3.01

NE 70TH STREET



SITE UTILITIES PLAN
SCALE: 1/8"=1'-0"



BASE4
2901 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

GENERAL NOTES

1. THE CONTRACTOR SHALL MAINTAIN STREET LATERAL CLEARANCE AS SHOWN ON THE PLANS FOR ALL UTILITIES.
2. IN ANY OF THE MAIN OR SERVICE ROUTES ARE ADJACENT IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TO THE LOCALITIES A RECORD OF THE EXACT LOCATIONS AT THE CONTRACTORS PLANS. A LOCATED SURVEY SHALL BE REQUIRED TO LOCATE THE CONDUIT ROUTES. THE CONTRACTOR SHALL PROVIDE THE SURVEYED LOCATIONS TO THE ENGINEER IN ELECTRONIC FORMAT.
3. ALL UTILITIES SHALL BE BACKFILLED AND COMPACTED.
4. THE CONTRACTOR SHALL RESTORE ANY DISTURBED AREA TO ITS PREVIOUS CONDITION.
5. THE CONTRACTOR SHALL VERIFY ALL VERTICAL AND HORIZONTAL COORDINATES OF ALL UTILITIES AND RECORD THEM PRIOR TO INSTALLATION OF CONDUIT. CONTACT THE ENGINEER WITH ANY CONFLICTS.
6. ALL UTILITIES SHALL BE COVERED AND MARKED BEFORE ANY CONSTRUCTION AND A FLAG.

WATER SERVICE NOTES

1. PRIOR TO FINAL ACCEPTANCE ALL WATER MAIN PIPE SHALL BE PRESSURE TESTED BY THE CONTRACTOR.
2. PRIOR TO FINAL ACCEPTANCE ALL WATER MAIN PIPE SHALL BE OBTAINED BY THE CONTRACTOR.
3. WHERE THE WATER MAIN IS TO BE CONSTRUCTED BELOW OR WITHIN 18 INCHES OF ANY EXISTING PIPE, THE CONTRACTOR SHALL LAY A FULL LENGTH OF WATER MAIN PIPE CENTERED ON THE EXISTING PIPE. THE CONTRACTOR SHALL PROVIDE THE MAXIMUM POSSIBLE SEPARATION OF THE JOINTS IN THE WATER MAIN FROM THE EXISTING PIPE. IF NOT ALREADY SO, THE CONTRACTOR SHALL CONSTRUCT SANITARY SEWER WITH ONE FOOT MINIMUM LENGTH OF PRESSURE PIPE MAIN LINED ON THE WATER MAIN AS PROVIDED IN SECTION 10.02.01. THE CONTRACTOR SHALL PROVIDE THE MAXIMUM POSSIBLE SEPARATION OF THE JOINTS IN THE WATER MAIN FROM THE EXISTING PIPE. THE CONTRACTOR SHALL PROVIDE THE MAXIMUM POSSIBLE SEPARATION OF THE JOINTS IN THE WATER MAIN FROM THE EXISTING PIPE. THE CONTRACTOR SHALL PROVIDE THE MAXIMUM POSSIBLE SEPARATION OF THE JOINTS IN THE WATER MAIN FROM THE EXISTING PIPE.
4. AT ALL WATER MAIN CROSSINGS, SANITARY SEWERS SHALL BE Laid AT SUCH AN ELEVATION THAT THE TOP OF THE SANITARY SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN.
5. ALL WATER MAIN CONSTRUCTION TO BE DONE UNDER A PLUMBERS PERMIT AND SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES.
6. ALL WATER MAINS, PUMPS AND VALVES SHALL BE LOCATED INSIDE BUILDINGS. REFER TO ARCHITECTURAL PLANS FOR DESIGN AND LOCATION.
7. WATER SERVICE PIPE SHALL HAVE A 5' MINIMUM BURIED DEPTH AS MEASURED FROM FINISHED GROUND TO TOP OF PIPE.
8. PIPE SHALL BE 12" MINIMUM 2" MINIMUM DEPTH TO BOTTOM OF PIPE.
9. MATERIAL OF PIPE FROM TOP OF PUBLIC WATER MAIN TO METER IN BUILDING SHALL BE TYPE "X" SHAW-WALKER COPPER OR 10" TO 24" GULFSTREAM PIPE (1" AND LARGER ON APPROVED PVC (4" AND LARGER) PER LOCAL CODES AND REGULATIONS.
10. REFER TO ARCHITECTURAL PLANS FOR WATER SERVICE TO AND FROM BUILDINGS.

SANITARY SEWER SERVICE NOTES

1. SANITARY SEWERS SHALL BE SEPARATED BY AT LEAST 10 FT. HORIZONTALLY FROM ANY EXISTING OR PROPOSED PARALLEL WATER MAINS, MEASURED EDGE TO EDGE.
2. AT ALL WATER MAIN CROSSINGS, SANITARY SEWERS SHALL BE Laid AT SUCH AN ELEVATION THAT THE TOP OF THE SANITARY SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. IN THOSE INSTANCES WHERE THE BOTTOM OF THE WATER MAIN IS LESS THAN 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER ON THE SANITARY SEWER IS LOCATED ABOVE THE WATER MAIN, THE SANITARY SEWER SHALL BE CONSTRUCTED USING A 24" MINIMUM DEPTH OF PVC PRESSURE PIPE AND THE REGULATOR OF ANAEROBIC OXYGEN (R.O.) SHALL BE LOCATED 10' TO 12' BELOW THE WATER MAIN.
3. ALL SANITARY SEWERS SHALL BE DONE UNDER A PLUMBERS PERMIT AND SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES.
4. PRIOR TO FINAL ACCEPTANCE ALL SEWER MAIN SHALL BE TESTED BY THE CONTRACTOR IN 150 PSI WATER IN ACCORDANCE WITH THE LOCAL PLUMBING CODE.
5. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL HAVE THE SEWER MAIN INSPECTED AND THE CODE OF BUILDING SHALL BE SUBMITTED TO THE PROJECT FOR REVIEW AND APPROVAL.
6. REFER TO ARCHITECTURAL PLANS FOR SANITARY SEWER SERVICE TO BUILDINGS.
7. ALL 12" SANITARY PIPE AND 18" PIPE SHALL BE 12" MINIMUM DEPTH.

UTILITIES LEGEND

- PROPOSED WATER SERVICE
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED GAS LINE
- PROPOSED UNDERGROUND ELECTRIC LINE
- SEWER CLEANOUT
- PROPOSED STORM SEWER CLEANOUT
- PROPOSED STORM SEWER CLEANOUT

Soil

Overl



Fairfield
BY HARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

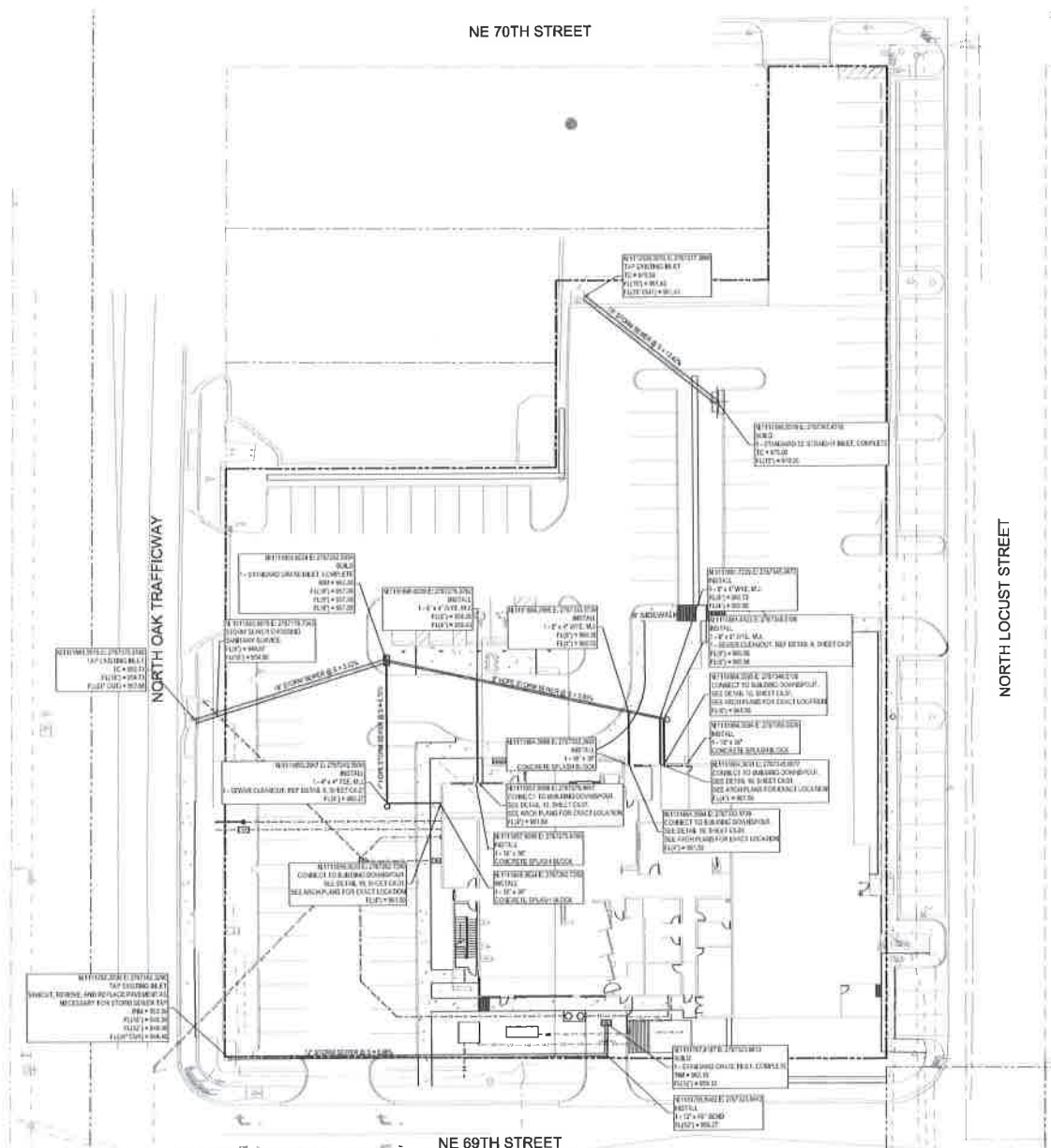
No.	ISSUE DATE	PROJECT STATUS

DATE: 2019.06.12
DRAWN BY: MM
CHECKED BY: PP
SCALE: AS NOTED
PROJECT NO: B4-173-1901
SHEET NAME:

Site Utilities Plan
DRAWING NO:

C4.01

NE 70TH STREET



SITE STORM SEWER PLAN
SCALE: 1/8"=1'-0"

The Clark Enersen Partners
ARCHITECTS
1001 CLINT MOORE ROAD, SUITE 1114
BOCA RATON, FLORIDA 33486
WWW.CEPA-FL.COM

BASE4
2801 CLINT MOORE ROAD #1114
BOCA RATON, FLORIDA 33486
www.base-4.com

Seal

MAg PARTNERS

Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

GENERAL NOTES

1. THE CONDUIT SHALL BE MINIMUM SIX INCH LATERAL CLEARANCE AS SHOWN ON THE PLAN FOR ALL UTILITY LINES.
2. IN ANY OF THE MAIN OR SERVICE ROUTES ARE ADJUSTED IN THE FIELD BY THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TO THE ENGINEER A RECORD OF THE EXACT LOCATIONS AT THE CONTRACTOR'S EXPENSE. A LICENSED SURVEYOR SHALL BE HIRING TO LOCATE THE CONDUIT ROUTES. THE CONTRACTOR SHALL PROVIDE THE SURVEYED LOCATIONS TO THE ENGINEER (ELECTRONIC FORM).
3. ALL UTILITIES SHALL BE SHOWN IN ACCORDANCE WITH THE STANDARD CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY ANY EXISTING UTILITIES PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY ALL VERTICAL AND HORIZONTAL CROSSINGS OF ALL PROPOSED AND EXISTING UTILITIES PRIOR TO THE LAYOUT OF CONDUIT. CONTACT THE ENGINEER WITH ANY CONFLICTS.
6. ALL CONDUIT STUDS SHALL BE CAPED AND MARKED ABOVE GROUND WITH REBAR AND A FLAG.

STORM SEWER NOTES

1. ALL STATIONING AND DIMENSIONS ARE TO BE CENTER LINE OF VAULT UNLESS OTHERWISE NOTED.
2. ALL STORM SEWER PIPE MATERIAL 12" AND SMALLER SHALL BE ADVANCED DRAINAGE SYSTEMS (ADS) PRODUCT OR APPROVED EQUAL.
3. ALL STORM SEWER PIPE MATERIAL TO EXCEED 12" SHALL BE ADS.

UTILITIES LEGEND

- PROPOSED WATER SERVICE
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED GAS LINE
- PROPOSED UNDERGROUND ELECTRICAL
- SEWER CLEANOUT
- PROPOSED STORM SEWER CONDUIT
- PROPOSED STORM SEWER CONDUIT

NO.	ISSUE DATE	PROJECT STATUS

DATE	2019.06.12
DRAWN BY	MM
CHECKED BY	PP
SCALE	AS NOTED
PROJECT NO.	BA-173-1901
SHEET NAME	

Site Storm Sewer Plan

DRAWING NO.

C4.02

Soil

Drain

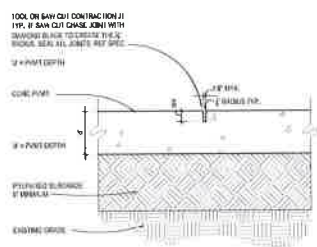
No.	ISSUE DATE	PROJECT STATUS

DATE	2019 06 12
DRAWN BY	MM
CHECKED BY	PP
SCALE	AS NOTED
PROJECT NO	BA-173-1001
SHEET NAME	

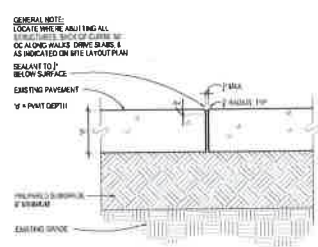
Construction Details

DRAWING NO.

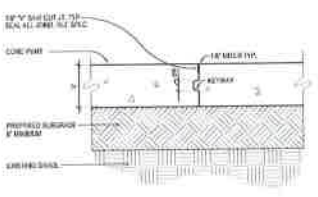
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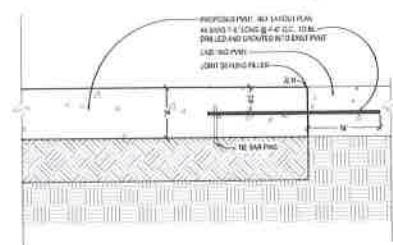
1 CONC. CONTRACTION JOINT
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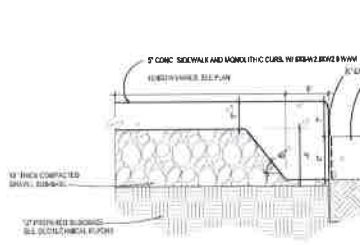
2 CONCRETE EXPANSION JOINT
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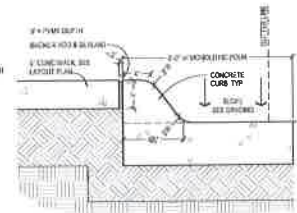
3 CONCRETE CONSTRUCTION JOINT
NO SCALE



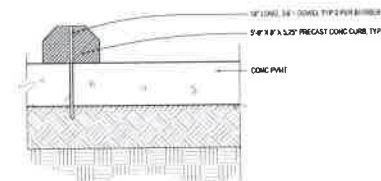
**4 CONCRETE CONSTRUCTION JOINT:
PROPOSED TO EXISTING PVMT**
NO SCALE



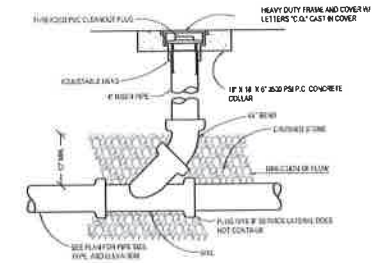
5 TYP CONCRETE W/ THICKENED EDGE
NO SCALE



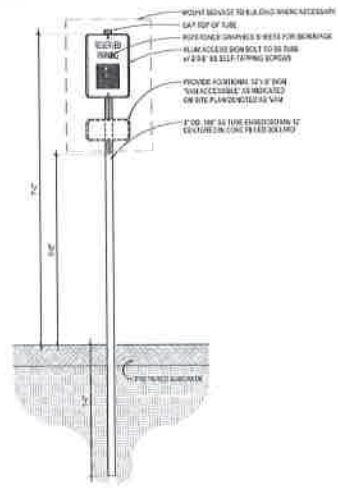
6 INTEGRAL CONCRETE CURB & GUTTER
NO SCALE



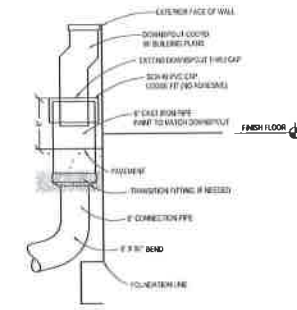
7 PRECAST CURB STOP
NO SCALE



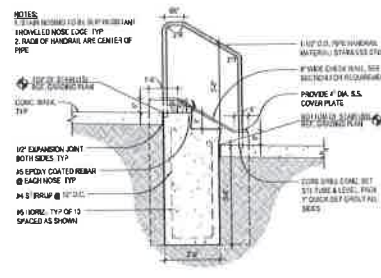
8 SEWER CLEAN-OUT DETAIL
NO SCALE



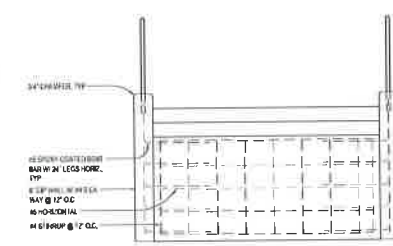
9 SIGN POST W/ ADA ACCESSIBLE SIGN
NO SCALE



10 DOWNSPOUT CONNECTION
NO SCALE



11 C.I.P. CONCRETE STAIRS
NO SCALE



BILL NO. 19- 33

ORDINANCE NO. 4.484

AN ORDINANCE APPROVING THE FINAL PLAT OF THE FAIRFIELD INN BY MARRIOTT, LINDEN LOTS 3-11, TOGETHER WITH PART OF LOTS 1, 2 AND 12, ALL OF BLOCK 25, LINDEN, A SUBDIVISION IN GLADSTONE, CLAY COUNTY, MISSOURI, (COMMONLY KNOWN AS 6901 NORTH OAK TRAFFICWAY), AND DIRECTING THE APPROPRIATE OFFICIALS TO AFFIX THEIR SIGNATURES TO SAID PLAT FOR RECORDING.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF GLADSTONE, MISSOURI, AS FOLLOWS:

SECTION 1. ACCEPTANCE. It appearing to the Council of the City of Gladstone, Missouri, from the Plat filed and exhibited to them that all parties having any right, title, or interest in or to said property described more particularly in the attached Final Plat having signed said Plat, and it is in the best interests of the City of Gladstone to approve and accept the same; it is hereby ordained by the Council of the City of Gladstone, that the Final Plat described as “Fairfield Inn by Marriott, Replat of Linden Lots 3-11, together with part of lots 1, 2 and 12, and all of Block 25, Linden, a subdivision in Gladstone, Clay County, Missouri” is hereby accepted.

SECTION 2. SIGNATURES. The proper officials of the City of Gladstone, Missouri, are hereby authorized and directed to affix their signatures to said Plat in a manner suitable for recording.

INTRODUCED, READ, PASSED, AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF GLADSTONE, MISSOURI, THIS 29TH DAY OF JULY, 2019.

Mayor Carol J. Suter

ATTEST:

Ruth E. Bocchino, City Clerk

1st Reading: July 29, 2019

2nd Reading: July 29, 2019

File #2019-009



Request for Council Action

RES ☐ # City Clerk Only

BILL ☒ # 19-33

ORD # 4.484

Date: 7/23/2019

Department: Community Development

Meeting Date Requested: 7/29/2019

Public Hearing: Yes ☐ Date:

Subject: Final Plat Approval – Marriott Fairfield Inn Hotel

Background: This proposed project will re-plat five (5) individual parcels into one parcel. The current zoning of these five (5) parcels is a combination of C-1 Local Business District and C-2 General Business District. The Final Plat is described as “Fairfield Inn by Marriott, Replat of Linden Lots 3-11, together with part of lots 1, 2 and 12, and all of Block 25, Linden a subdivision in Gladstone, Clay County, Missouri

Budget Discussion: Funds are budgeted in the amount of \$ from the Fund. Ongoing costs are estimated to be \$ annually. Previous years’ funding was \$

Public/Board/Staff Input: . The Planning Commission voted in favor of this project. Replat – in favor 12 – 0 opposed. Zoning Change – in favor 12 – 0 opposed. Site Plan Approval – in favor 12 – 0 opposed.

Provide Original Contracts, Leases, Agreements, etc. to: City Clerk and Vendor

Austin Greer, Assistant To the City Manager/Planning Administrator

City Attorney PC

City Manager SW