

BILL NO. 16-32

ORDINANCE NO. 4.360

AN ORDINANCE APPROVING A SITE PLAN REVISION FOR PROPERTY AT 7112 NORTH OAK TRAFFICWAY, COMMONLY KNOWN AS SONIC DRIVE IN.

WHEREAS, pursuant to Section 32-37 of Ordinance No. 2.292 being of the Gladstone Zoning Ordinance, public notice was made of a request for site plan approval at 7112 North Oak Trafficway; and

WHEREAS, public hearings have been held after the publishing of the required notices; and

WHEREAS, the City Council finds that the planned development does not materially injure the property and the uses of the properties immediately adjacent to the proposed development; and

WHEREAS, the City Council finds that the site plan presents a unified and organized arrangement of buildings and facilities which have a functional relationship to the property comprising the development; and

WHEREAS, the City Council finds it is in the best interest of the citizens of the City of Gladstone that the site plan submitted by the applicant be approved subject to the terms and conditions set forth herein.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF GLADSTONE, MISSOURI, AS FOLLOWS:

SECTION 1. SITE PLAN APPROVAL.

The Site Plan for 7112 North Oak Trafficway is hereby approved subject to the terms and conditions set forth herein:

- 1) Existing pole/pylon sign shall be removed; any new signage shall comply with the City's Sign Ordinance.
- 2) All exterior existing lighting shall be converted to LED.
- 3) Dumpster enclosure and out building shall be located in the NW corner of the property.
- 4) Dumpster enclosure shall be constructed with materials and color consistent with the primary building.
- 5) Trash service shall be scheduled between the hours of 7:00am to 10:00pm.
- 6) Only one (1) outbuilding shall be permitted on the premises.
- 7) Out building shall be constructed with materials and color consistent with the primary building.
- 8) All disturbed grassed areas shall be sodded.

- 9) All cultivated, manicured grass and landscaped areas shall be irrigated and maintained in perpetuity.
- 10) All mechanical equipment on the roof shall be screened by a parapet wall a minimum of twelve (12) inches above the tallest piece of mechanical equipment.
- 11) Tractor trailers and other commercial vehicles shall not be parked or be stored overnight on the premises.

SECTION 2. SEVERABILITY CLAUSE. The provisions of this ordinance are severable and if any provision hereof is declared invalid, unconstitutional or unenforceable, such determination shall not affect the validity of the remainder of this ordinance.

PASSED, SIGNED, AND MADE EFFECTIVE BY THE COUNCIL OF THE CITY OF GLADSTONE, MISSOURI, THIS 8TH DAY OF AUGUST 2016.


Jean B. Moore, Mayor

ATTEST:


Ruth Bocchino, City Clerk

First Reading: August 8, 2016

Second Reading: August 8, 2016

File #1426



Community Development Department Staff Report

Date: July 15, 2016

File #: 1426

Requested Action: Site Plan Revision

Date of PC Consideration: August 1, 2016 (Voted 8-yes, 0-no)

Date of Council Consideration: August 8, 2016

Applicant: Gary Simons
7112 N. Oak Trafficway
Gladstone, MO. 64118

Owner: Northland Sonic
7112 N. Oak Trafficway
Gladstone, MO. 64118

Architect: AVANT Design Group, Inc.
P.O. Box 59226
Dallas, TX. 75229

Engineer: Lutjen
1301 Burlington, #100
North Kansas City, MO. 64116

Address of property: 7112 N. Oak Trafficway

Planning Information

Current Zoning: CP-2

Zoning History: None recent

Planned Land Use: Planned General Business District

Streetscape Guidelines: Comprehensive Plan, Appendix C and D.

Applicable Regulations: Zoning and Subdivision Ordinance and Comprehensive Plan

Additional Information

Public Utility Availability: Existing

Ingress/Egress: Provided via existing full access on N. Oak Trafficway and from the road to the south.

Traffic Division Comments: None

Parking Required: 15

Parking Provided: 38-On site parking spaces provided

Proposed On-Site Improvements: None

Proposed Off-Site Improvements: None

Proposed Landscaping: Improved landscaping of the existing landscaped areas

Proposed Signage: Existing pole/pylon sign to be removed per City ordinance; owner proposes to keep existing pole/pylon sign.

Recommended Conditions

- 1. Existing pole/pylon sign shall be removed; any new signage shall comply with the City’s Sign Ordinance.
- 2. All exterior existing lighting shall be converted to LED.
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Analysis

The applicant is requesting site plan approval for the purpose of demolishing the existing structure and constructing a new 1,452 sq. ft. structure, which is slightly smaller than the existing structure. The new structure being proposed is Sonic’s new prototype. The size, location and shape of the building are consistent with the existing building that is being demolished and meets with the Comprehensive Plan’s existing land use and future land use.

The existing pole/pylon does not meet with the requirements of the City’s sign ordinance and needs to be brought into compliance with the sign ordinance.

Staff is recommending that all existing exterior lighting that is remaining be converted to LED. This action supports the concept of sustainability recommended in the Comprehensive Plan.

The existing landscaping is being upgraded and conforms to the Comprehensive Plan and the N. Oak Trafficway landscaping to the south.

Recommendation

The Staff recommends that the request be **approved** contingent upon compliance with the above recommended conditions.

PLANNING COMMISSION
GLADSTONE, MISSOURI
Council Chambers
August 1, 2016
7:00 pm

Item 1 on the Agenda: Roll Call.

Present: Ms. Alexander
Mr. Markenson
Ms. McGee
Mr. New
Mr. Turnage
Mr. Whitton
Mr. Yarber
Chairman Ringhausen

Absent: Ms. Poindexter
Mr. Ward
Mr. Williams

Council & Staff Present:

Mayor Pro Tem RD Mallams
Scott Wingerson, City Manager
Alan Napoli, Interim Comm. Dev. Director
Melinda Mehaffy, Econ. Dev.

Item 2 on the Agenda: Pledge of Allegiance.

Chairman Ringhausen led the group in reciting the Pledge of Allegiance.

Item 3 on the Agenda: Approval of the June 6, 2016 minutes.

MOTION: By Mr. Turnage, second by Mr. Whitton to approve the June 6, 2016 minutes as presented. All said aye. The motion carried.

Item 4 on the Agenda: PUBLIC HEARING: on a Site Plan Revision at 7112 N. Oak Trafficway. Applicant/Owner: Gary W. & Elizabeth D. Simons. File #1426.

Chairman Ringhausen briefly explained the public hearing process then called on Interim Director Napoli for the staff report.

Alan Napoli reported that tonight's application is for the Sonic located at 7112 N. Oak Trafficway. It is currently a CP zone so it is a planned, zoned district. The applicant is proposing to demolish the existing structure, including the three canopies and build a new

structure primarily in the same location. They will be using the same ingress and egress so there will be no change coming in or leaving the property. They are planning on removing the existing pole sign and replacing it with a compliant monument sign. Currently they only need 15 parking spaces; however, they will have about 38 with the new construction. The owner is proposing to do some new landscaping along the North Oak section and they will be irrigating. Any grassy areas that are disturbed they will be sodding and irrigating. Mr. Napoli noted on the plans a trash enclosure and an out-building in the southwest corner of the site. Those two items are being relocated to the back northwest corner. There are eleven recommended conditions, all of which the applicant has agreed to.

Mr. Napoli stated that the structure that is proposed is actually smaller than the existing building. It is still all outdoor drive-thru, which will be on the south side. They will only have two canopies when they reconstruct, which will be on the north side, for drive-in access. He offered to answer any questions at this point.

Mr. Turnage wondered if the dumpster enclosure keeps people from doing illegal dumping.

Mr. Napoli replied that if it is locked it can help with that. Primarily, staff asks for it more for aesthetic purposes. Dumpsters aren't always neat looking.

Mr. New noticed this building will be the new proto-type, but he wondered if the parking will serve more customers or less.

Mr. Napoli answered that they will actually have the same amount of parking spaces when it's all said and done with the primary business being done through the drive-thru.

Mr. New asked how long construction is expected to take.

Mr. Napoli said it should typically take about four months on average, depending on weather.

Chairman Ringhausen asked about the lighting plan and wondered if there was an existing versus new comparison.

Mr. Napoli said he doesn't have a plan on the before and after lighting. The new lighting plan does meet the City's requirements as far as bleed-out onto adjoining property, which is not greater than .25 bleed-out ten feet outside their property.

Hearing no further questions of staff, Chairman Ringhausen called on the applicant.

Brian Forquer, Lutjen a Division of Olsson, 1301 Burlington, North Kansas City, MO 64116, addressed the Commission. Mr. Forquer said he is here tonight representing Gary Simons of Sonic. They appreciate the Commission hearing their application for a Site Plan Revision tonight. As staff mentioned, they will be keeping the same ingress/egress points. This building as it exists right now is about 29 years old and so in order to update to the new Sonic prototype, new equipment and site circulation they are here for a site plan review. They agree with the eleven conditions that Mr. Napoli mentioned and are here to answer any questions.

Mr. Markenson asked when they intended to begin this project.

Mr. Forquer replied that the developer would like, pending approval tonight and with the City Council next week, to start demolition by September 1st.

Mr. Markenson asked about the four month time frame.

Mr. Forquer said he usually says six months for construction; however, he hasn't looked at a timeline yet. He also added that as staff mentioned they do have a new lighting plan and they are the LED lights.

Mr. Turnage asked if there was any part of the existing structure that can be used with the new construction.

Mr. Forquer answered no. Based on the slight shift of the building and reconfiguration it's going to be simpler to tear down and rebuild.

Mr. Turnage asked if that would include the foundation.

Mr. Forquer said yes.

Chairman Ringhausen asked if there are any projections as to customer traffic coming into the facility or if the owner is anticipating the same traffic that visits Sonic now.

Mr. Forquer said he's going to say he'll expect about the same traffic going through there based on traffic patterns. He'd probably like to see more, but he hasn't talked with Mr. Simons specifically about that at this point. A lot of this change is about new equipment and operations coming up to current Sonic standards.

Chairman Ringhausen called for those in favor of the application to come forward. Hearing none, he called for those in opposition.

Kenneth Pruitt, 18285 S. Ridley Road, Smithville, MO 64089, stated that he has the building north of Sonic. They [developer] said they're going to tear down everything to rebuild. He wanted to know if this is going to cause any other problems to adjoining buildings like his. They don't maintain mowing the property as it is now. What are they going to do about policing the area...keeping the trash picked up?

Mr. Markenson asked if his concern was stormwater.

Mr. Pruitt said he is concerned that if they have to go in and tear out the concrete and everything...his building was built in the 1950's so it's pretty old. Is this going to create any problems with jarring and whatever might occur with his building.

Mr. Markenson said it sounds like his [Mr. Pruitt's] concern is with the demolition.

Mr. Yarber asked Mr. Pruitt how close his building is to the property line.

Mrs. Pruitt said it meets their property line.

Mr. Yarber said he was asking about the building, not the property line.

Mrs. Pruitt said their building is Signs Now. She asked Mr. Yarber if he was familiar with it.

Mr. Yarber said he knows where it's at, but he can't picture how far it is.

Mr. Napoli brought the site plan up on the overhead screen and pointed out the properties being discussed.

Mrs. Pruitt said they get all their [Sonic's] runoff and all their trash blows into their driveway.

Mr. Yarber said nothing is happening in the undeveloped area, is that correct? Also, what is happening to the actual paving that is already there?

Mr. Napoli answered that the paving that is already there will remain for the parking lot area.

Mr. Yarber said where there are parking spots now, they will remain?

Mr. Napoli said that is correct.

Mr. Yarber asked how the demolition work will be done...with an excavator?

Mr. Forquer answered yes, it will be bid out. It could be dis-assembled; he's not sure about those details at this point. As much of the pavement they can leave, they will. The curb line on the outside will remain and that will be the limit of where they will do their work. They could end up using the undeveloped area for staging, but they are not doing any improvements in that area.

Discussion ensued regarding how far the Sonic building would be from the Signs Now building.

Mr. Whitton asked if the City has an easement for a street that used to go back to Malone's Lawn and Landscape.

Mr. Napoli said that is a private drive for the old Malone property; there is not a street right of way there.

Mr. Whitton thought there was a street cut there.

Mr. Napoli said there is.

Mr. Whitton asked if the grassy area that is not getting mowed belongs to Sonic.

Mr. Forquer answered yes it does and he will relay the information about mowing and cleaning up the trash to the owner.

Mr. Yarber asked if the grassy, undeveloped area is the part that is not kept up very well.

Mr. Pruitt said yes; back in the 50's there was only about 6' from his building to the property line.

Mr. Yarber asked Mr. Pruitt if it's not mowed as often as he thinks it should be.

Mrs. Pruitt said it's never mowed.

Mr. Yarber asked what kind of trash ends up on their property.

Response from Mr. and Mrs. Pruitt was inaudible. Mr. Pruitt showed Mr. Yarber a picture he took on Sunday of some trash.

Mr. New asked Mr. Forquer if he would be able to address Mr. Pruitt's concerns.

Mr. Forquer answered yes. He can talk to the developer about policing the property and making sure that the lids to the trash dumpsters are closed and also about the mowing. He will also speak with Mr. Pruitt after the meeting tonight.

Mr. New said he thinks the issue is just having some communication between the two.

Chairman Ringhausen also encouraged some additional scrutiny by the Codes Department.

Hearing no further discussion for the public hearing, Chairman Ringhausen closed the public hearing.

MOTION: By Mr. Whitton, second by Mr. Markenson to approve the Site Plan Revision at 7112 N. Oak Trafficway.

Mr. New said he thinks what he heard tonight was one issue with the property who owns a business close to Sonic. He understands that the applicant is going to speak with the business owner to address the concerns and hopefully that will solve everyone's issue.

Mr. Yarber asked if they should consider an additional recommended condition that the unimproved area is better maintained. He asked if this is addressed by a code.

Chairman Ringhausen read #9, which states that all cultivated, manicured grass and landscaped areas shall be irrigated and maintained in perpetuity. This would indicate that they are responsible for maintaining their property.

Mr. Yarber said that looking at condition #9, it could be interpreted that cultivated, manicured and landscaped areas might not be "unimproved" areas. He suggested maybe adding another phrase to that sentence.

Chairman Ringhausen asked Mr. Yarber what he would propose.

Mr. Yarber suggested adding "and unimproved areas."

Mr. Markenson didn't think we want an unimproved area to be irrigated. do they? It seems to him that there are basic codes to solve these problems. Anyone who lets their weeds grow

beyond a certain height are notified by the City. As far as trash blowing, that's also a nuisance they can be cited for. It might be that the City's existing codes can handle this problem.

Mr. Turnage said if they're going to add any kind of condition he thinks it should be about communication between the developer and the business owners present tonight.

Chairman Ringhausen asked if that would be appropriate to include in the conditions set forth.

Mr. Napoli answered that it can be; however, he would suggest that we check with the owner's representative to see if they would be agreeable. If not, it may be something that he can discuss with the owner of the property.

Mr. Whitton said he didn't think they need to add anything. The City's weed ordinance will take care of it. We don't need to police it. He really doesn't see a need to tack anything on to this ordinance.

Chairman Ringhausen reminded the Commission of the current motion on the table which is to approve the Site Plan Revision at 7112 N. Oak Trafficway with the eleven recommended conditions and the understanding that there will be additional communication with Codes in relation to the undeveloped property.

Hearing no further discussion, he called for a vote.

Vote:	Ms. Alexander	Yes
	Mr. Markenson	Yes
	Ms. McGee	Yes
	Mr. New	Yes
	Mr. Turnage	Yes
	Mr. Whitton	Yes
	Mr. Yarber	Yes
	Chairman Ringhausen	Yes

The motion carried. (8-Yes, 0-No) This application will move forward to the City Council on Monday, August 8, 2016.

Item 5 on the Agenda: Communications from the City Council and the City Staff.

Mr. Napoli announced that there will be two applications for the August 15th Planning Commission meeting; a re-plat and a site plan revision.

Mayor Pro-Tem Mallams thanked the Commission for approving this site plan revision; it was the right thing to do. He also thanked the Pruitts for coming and voicing their concerns; he is sure they will be addressed. He also asked the applicant to thank the owners for staying in Gladstone and re-developing. Mr. Mallams announced the ribbon cutting for Linden Woods Village on Sunday, August 21st at noon. The Northland Innovation Center is going to be open and ready to receive kids for the new school year. He said it is amazing to think that after a year of planning and a year of construction it is ready to go! There are exciting times coming for Gladstone: a new McDonalds, a new Quiktrip and a new Sonic.

Mr. Markenson said he’s heard rumors that the independent living at Linden Woods Village is almost full; he asked if that is true.

Mayor Pro-Tem Mallams said that is true.

Mr. Markenson asked about the skilled nursing section.

Mayor Pro-Tem Mallams said it is not full yet. They are bringing in a couple of people every so many days as a transition for the patients and the staff. One of their biggest concerns right now is finding good, quality employees.

City Manager Wingerson said to follow up on Mayor Pro-Tem comments, the ribbon cutting for Northwest Missouri State is Thursday, August 18th, 4-6 pm.

Item 6 on the Agenda: Communications from the Planning Commission Members.

Ms. Alexander asked how the renting of the commercial space of the Heights is going.

Melinda Mehaffy addressed the Commission and reported that they have probably seen the new signage at the property. These signs show the number for the new leasing agent, Clemens Real Estate. They specialize in retail development and were actually showing the property this morning.

Ms. Alexander asked about the status of the Conoco station on Antioch Road.

Mr. Napoli answered that staff has not heard anything more from the general contractor. Their current building permit expires the first part of September, after which they would have to start some of the process over again.

Ms. Alexander understands that Woodbine is going to be made into senior housing; she asked if that were true.

Mr. Napoli said a developer has expressed interest in the property as independent living; however, he does not own the property yet.

Chairman Ringhausen encouraged everyone to vote tomorrow.

Item 7 on the Agenda: Adjournment

Chairman Ringhausen adjourned the meeting at 7:37 pm.

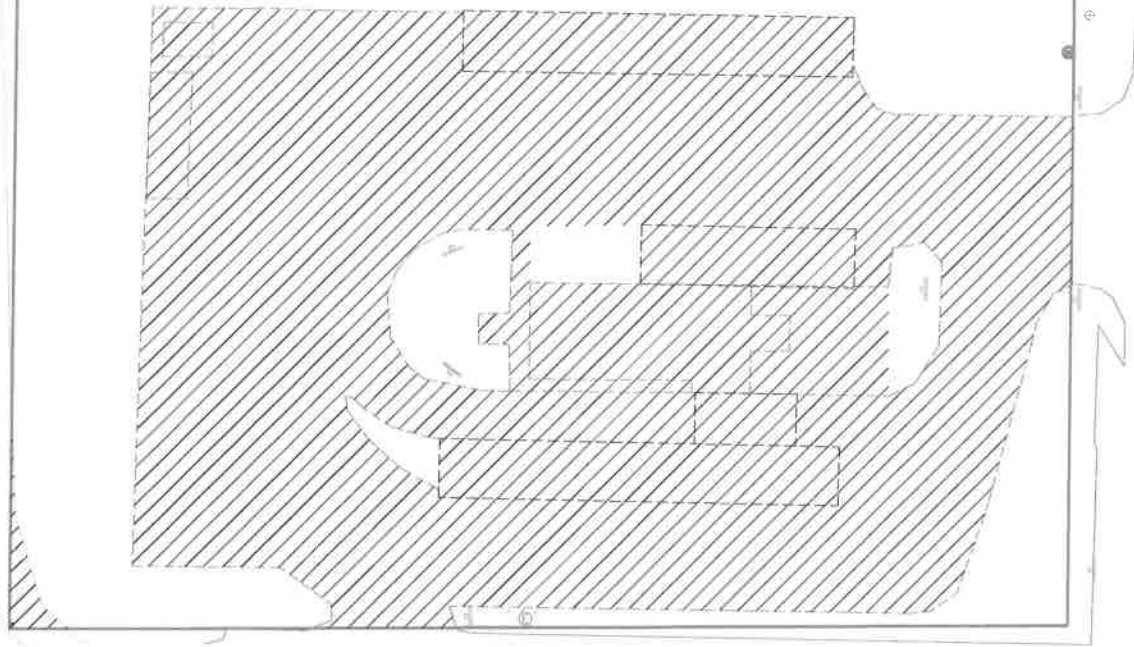
Respectfully submitted:

Alan Ringhausen, Chairman

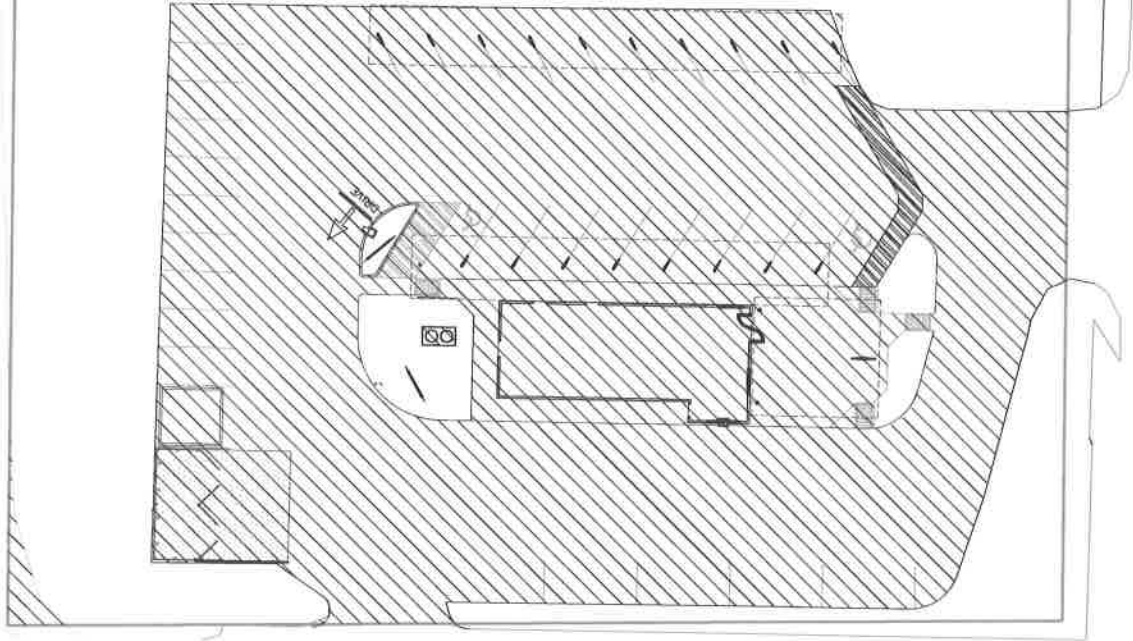
Approved as submitted _____

Becky Jarrett, Recording Secretary

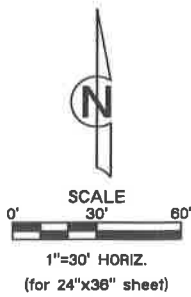
Approved as corrected _____



EXISTING IMPERVIOUS AREA DATA	
Impervious Area (SF)	26,731



PROPOSED IMPERVIOUS AREA DATA	
Impervious Area (SF)	26,718
Proposed Change (+/-) Impervious Area (SF) (Compared to Existing Site Plan)	-13



Location: L:\Projects\016-1997\Plans\Construction Documents\SP1.dwg

Sheet No.:

C1

STORMWATER MANAGEMENT PLAN

SONIC
7112 N. OAK TRAFFICWAY
GLADSTONE, CLAY COUNTY, MISSOURI



LUTJEN

1001 Burlington, #100
St. Louis, MO 63103
314.587.1300 fax
www.lutjen.com

lu-eying

planning

landscape architecture

MO State Certificate of Authority #: 2007022834

Reviewed By:

BH

Designed By:

BH

Drafted By:

BH

Lutjen Project No.:

016-1997

Ben Helms, PE

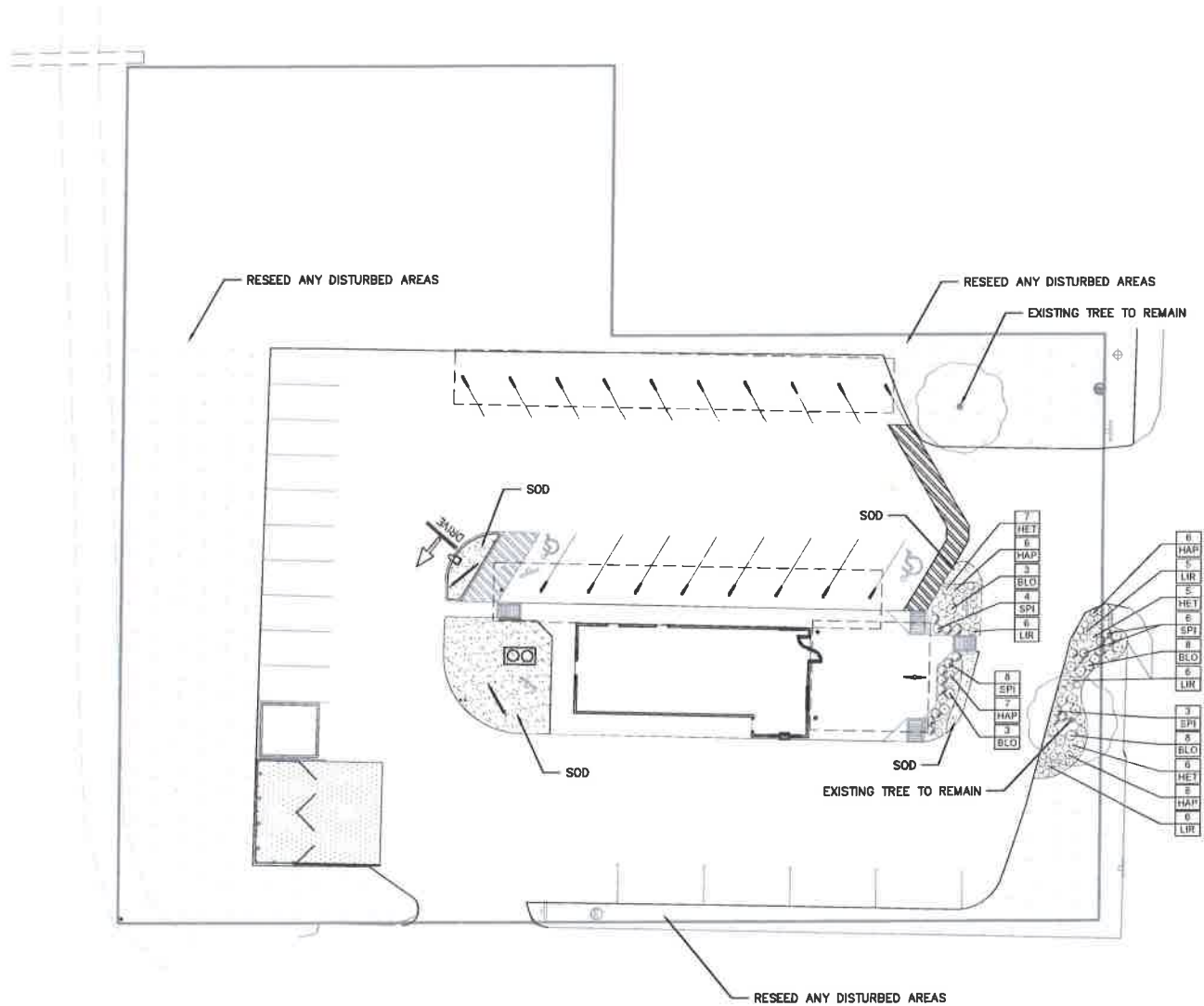
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DATE: 07-01-2016

NO. 1 REVISIONS/APPROVALS:

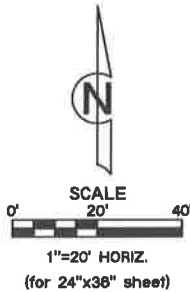
Prepared for City permit Submittal



PLANT SCHEDULE

SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE
	SPI	21	Spiraea japonica 'Yan' / Yan Double Play Gold Spiraea	Cont.	18" SP.
	HET	18	Thuja occidentalis 'Heiz Midget' / Heiz Midget Arbovitae	Cont.	12" HT
GRASSES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE
	BLO	22	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Oatgrass	1 gal	
PERENNIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE
	HAP	27	Hemerocallis x 'Happy Returns' / Happy Returns Daylily	1 gal	
	LIR	23	Lilopsis muscari 'Big Blue' / Big Blue Lilyturf	1 gal	
SOD/SEED	QTY	BOTANICAL NAME / COMMON NAME	CONT		
	9,739 sq ft	Festuca arundinacea / Tall Fescue	Seed		
	849	Turf Sod / Drought tolerant fescue blend	Sod		

- NOTES:
- Quantities listed in the plant list schedule are for estimates only. Trees, shrubs, and ground cover of contract quantities shall be the number of items shown on the drawings.
 - The Landscape Contractor is responsible for verifying all quantities shown on these plans before pricing the work. Any difference in quantities should be brought to the attention of the Landscape Architect for clarification.
 - All planting beds shall be mulched and have a shovel cut edge.



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Sheet No.: L100

LANDSCAPE PLAN

SONIC

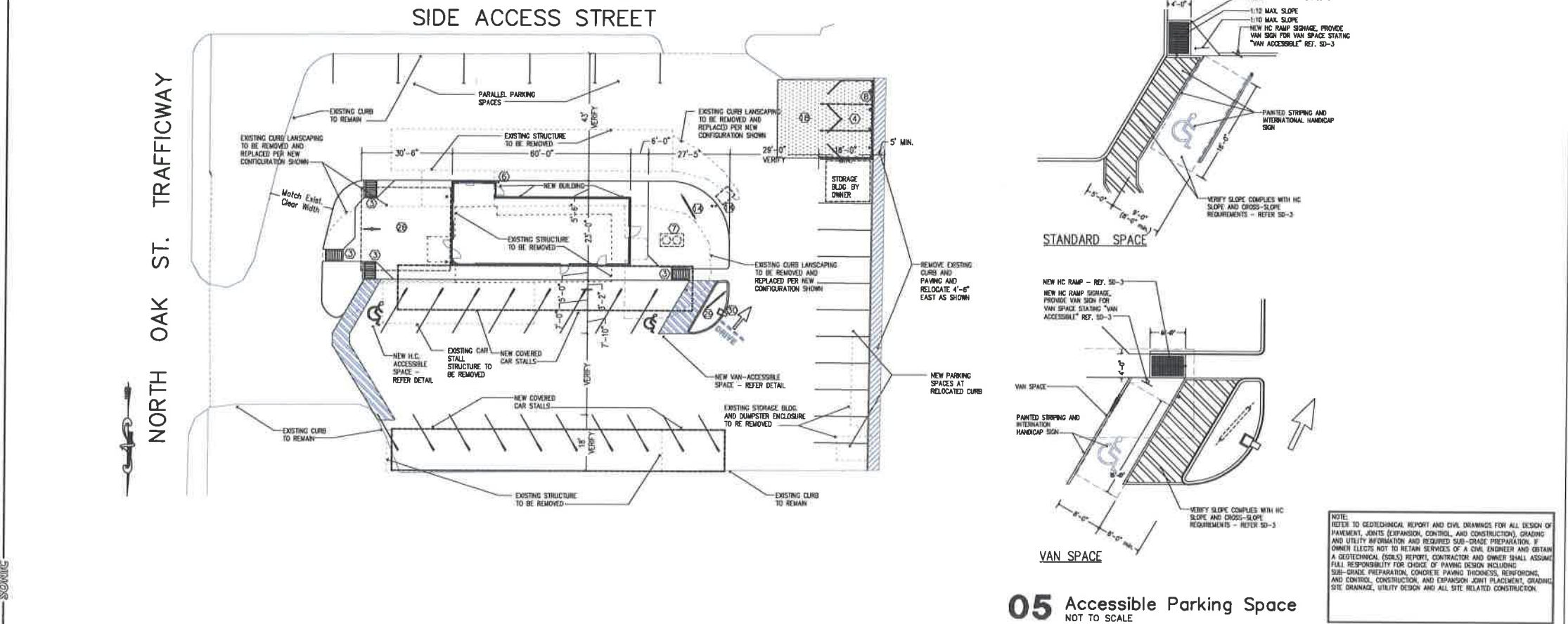
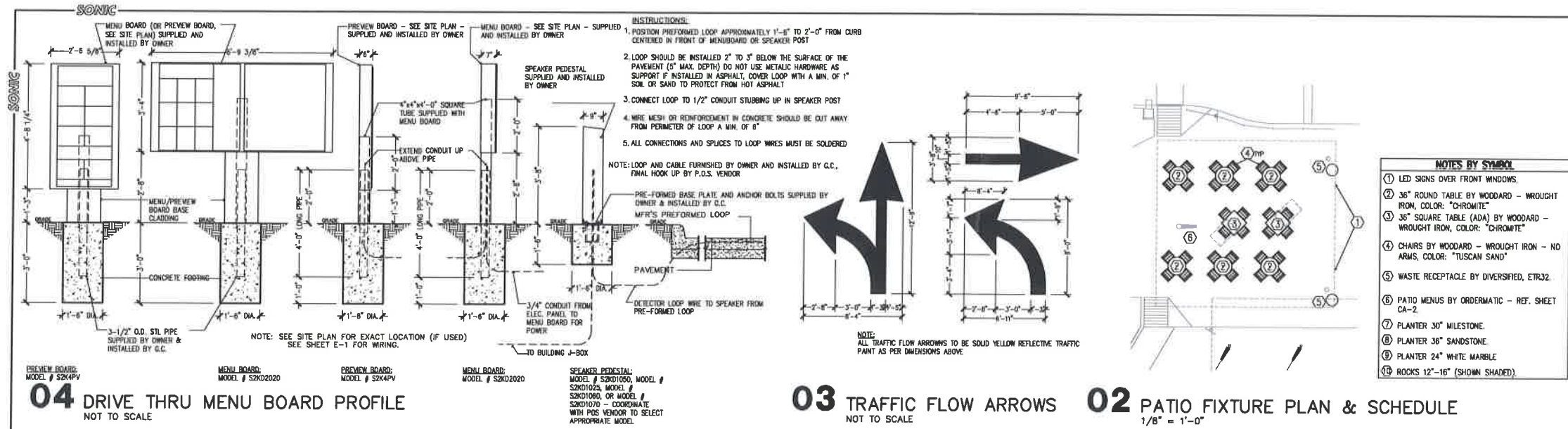
7112 N. OAK TRAFFICWAY

GLADSTONE, CLAY COUNTY, MISSOURI

1327 Burlington, 4100
North Kansas City, MO 64116
816.387.1303 fax
www.lutjen.com
LUTJEN
Landscape Architecture
Missouri State Certificate of Authority # 2007022824

Reviewed By: J.H.
Designed By: BFF
Drafted By: BFF
Lutjen Project No.: 016-1997
Brian F. Forquer, PLA
MO #2007013277

NO.: REVISIONS/APPROVALS:
07-01-2016 Prepared for City Permit Submittal



SITE PLAN KEYNOTES

ITEM	NOTE
①	TRAFFIC FLOW ARROW (TYPICAL), REF: SD1.03
②	4" PAINTED STRIPES (TYPICAL), REF: SPECIFICATIONS, SECTION 02500, SHEET SP1
③	CURB RAMP (TYPICAL), REF: SD3
④	TRASH ENCLOSURE, REF: SD2
⑤	RAILING, REF: SD2
⑥	BOLLARD, REF: SD2
⑦	GREASE TRAP, REF: P2.02. REFER TO CIVIL DRAWINGS FOR VERIFICATION OF EXACT LOCATION.
⑧	DUMPSTER BOLLARD, REF: SD2
⑨	NOT USED
⑩	NOT USED
⑪	NOT USED
⑫	NOT USED
⑬	NOT USED
⑭	ORDER BOARD AND DETECTOR LOOP, REF. ELEC.
⑮	MENU / CNPY. POST (TYPICAL), REF: CA1
⑯	NOT USED
⑰	CONCRETE OR ASPHALT PAVING, REF. CIVIL DRAWINGS OR OWNER
⑱	NOT USED
⑲	"CARHOP CROSSING" SIGNAGE, REF: SD2
⑳	"PICK UP ORDER HERE" SIGNAGE, REF: SD2
㉑	NOT USED
㉒	POLE MOUNTED FLOOD LIGHTS - RE. ELEC.
㉓	NOT USED
㉔	NOT USED
㉕	NOT USED
㉖	REF: SD1.02 FOR PATIO LAYOUT AND FURNISHINGS
㉗	NOT USED
㉘	NOT USED
㉙	PREVIEW BOARD REF: SD1.04
㉚	TRASH CAN

SIGN SCHEDULE

ITEM	REFERENCE	SIGN TYPE
①	-	PYLON SIGN
②	SD2.09	ENTER SIGN
③	SD2.09	EXIT SIGN
④	SD2.11	HANDICAPPED PARKING SIGN

SONIC DRIVE-IN

David A. Murray
Registered Architect
P.O. BOX 86228 DALLAS, TX 76228
214.596.3100 214.596.3101 (fax)

SONIC CORP.
300 JOHNNY BENCH DR
OKLAHOMA CITY, OK 73104
OFFICES: 405-225-5000
FAX: 405-225-5891

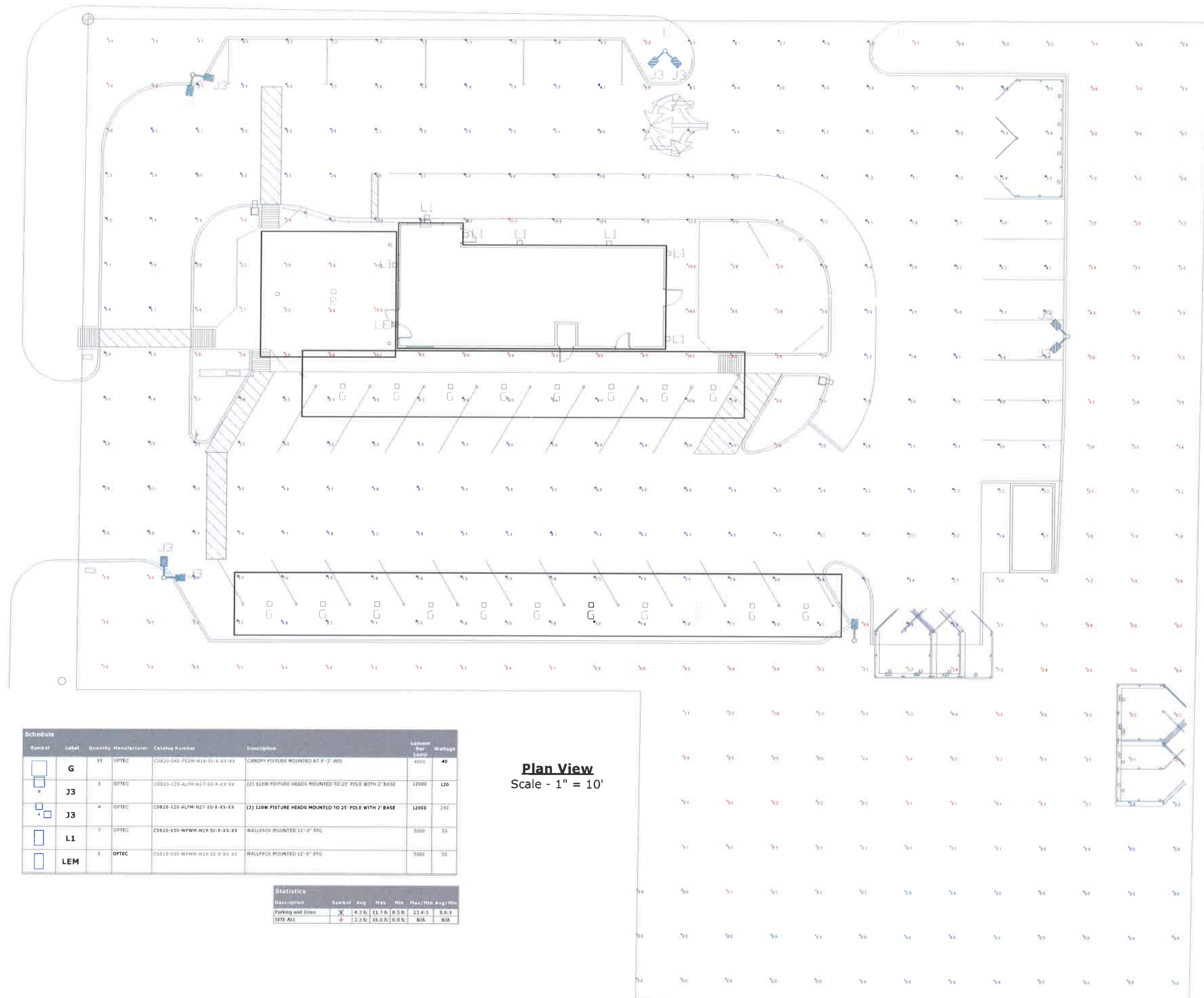
AMERICA'S DRIVE-IN BRAND PROPERTIES LLC
COPYRIGHT 2015
ALL RIGHTS RESERVED
CONSTRUCTION OF THE DRIVE-IN AT THE INDICATED LOCATION






7112 N. Oak Trafficway
Gladstone, Missouri 64118

SITE PLAN & SITE DETAILS

SD1

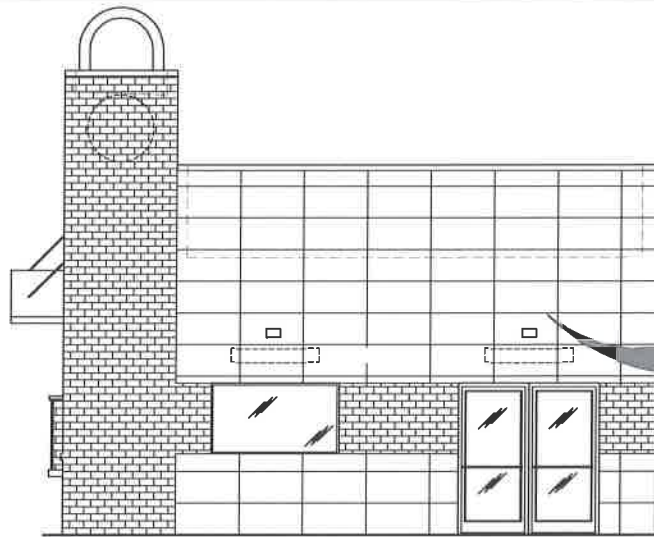
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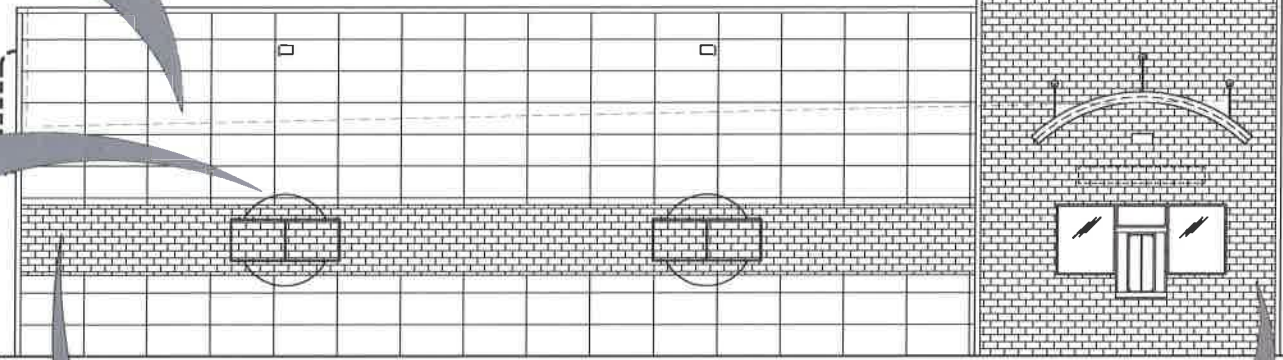
Schedule						
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp Wattage
	G	18	OPTEC	C0820-040-P50H-N19-50-X-XX-XX	CANOPY FIXTURE MOUNTED AT 8'-3" AFF	4000 40
	J3	1	OPTEC	C0820-120-ALPH-N27-50-X-XX-XX	(2) 120W FIXTURE HEADS MOUNTED TO 35' POLE WITH 2" BASE	12000 120
	J3	4	OPTEC	C0820-120-ALPH-N27-50-X-XX-XX	(2) 120W FIXTURE HEADS MOUNTED TO 35' POLE WITH 2" BASE	12000 120
	L1	7	OPTEC	C0820-030-WPWH-N19-50-X-XX-XX	WALLPACK MOUNTED 15'-0" AFF	3000 30
	LEM	1	OPTEC	C0820-030-WPWH-N19-50-X-XX-XX	WALLPACK MOUNTED 15'-0" AFF	3000 30

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min Avg/Min	
Parking and Drive	X	4.3%	11.1%	0.5%	23.4%	0.5%
SITE A11	+	2.3%	10.0%	0.0%	N/A	N/A

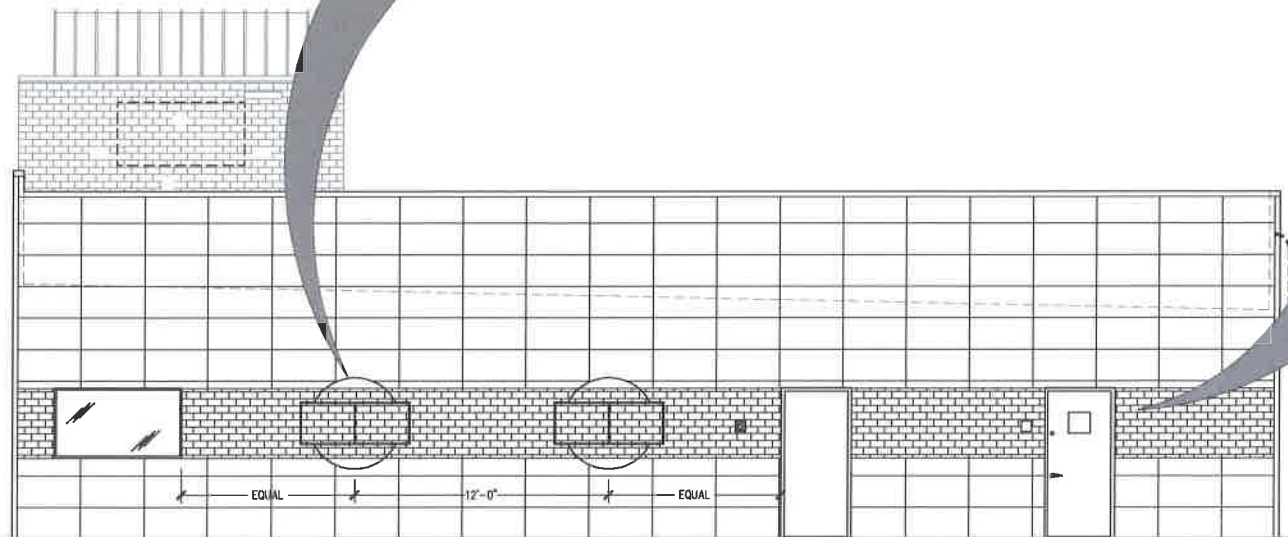
Plan View
Scale - 1" = 10'



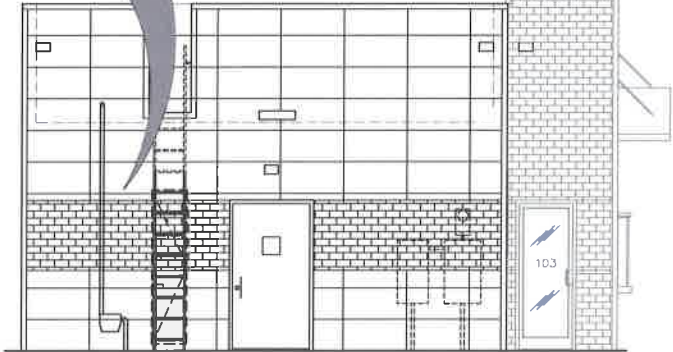
01 FRONT ELEVATION
1/4" = 1'-0"



03 LEFT ELEVATION
1/4" = 1'-0"



04 RIGHT ELEVATION
1/4" = 1'-0"



02 REAR ELEVATION
1/4" = 1'-0"



NO	DATE	ISSUES AND REVISIONS	
		ISSUED	REVISION
1	12-15-15		
2	08-20-16		
3			
4			
5			
6			
7			
8			
9			
10			

David A. Murray
Registered Architect
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214.558.3100 214.558.3101 (fax)

SONIC CORP.
300 JOHNT BENCH DR
OKLAHOMA CITY, OK 73104
OFFICES: 405-225-5000
FA: 405-225-5981
COPYRIGHT 2015
AMERICA'S DRIVE-IN BRAND PROPERTIES LLC
THESE DRAWINGS ARE NOT TO BE USED FOR ANY PURPOSE
OTHER THAN THE SPECIFIC PROJECT AND LOCATION
IDENTIFIED HEREIN.

SONIC DRIVE-IN
7112 N. Oak Trafficway
Gladstone, Missouri 64118
ELEVATIONS - FINISHES

SHEET
A2b
DWG: 2122-A2b

LETTER OF TRANSMITTAL



CITY OF GLADSTONE
Community Development Department
P.O. Box 10719
Gladstone, Missouri 64188-0719
Tel. (816) 436-2200 Fax (816) 436-2228



TO: CITY COUNCIL
FROM: COMMUNITY DEVELOPMENT
DATE: JULY 20, 2016
BP FILE NO.: 16.00570
RE: 7112 N. OAK TRAFFICWAY – SONIC DEMOLITION/NEW CONSTRUCTION

WE ARE SENDING YOU: ☒ Attached ☐ Separate
☒ Staff Report ☒ Plans ☐ Pictures ☐ Specifications
☒ Colored Elevation ☐ Other _____

BUILDING PERMIT FOR:

☒ New Construction ☐ Addition ☐ Remodel ☐ Tenant Finish

TYPE OF CONSTRUCTION:

☒ New Structure ☐ Interior and Exterior ☐ Interior Only
☐ Exterior Only ☐ Other _____

EXTERIOR MATERIALS:

☐ EFIS ☐ Stucco ☐ Brick ☒ Metal
☐ Wood ☐ Glass ☐ Stone ☒ Other – Stone & Slate Tile ☐ N/A

THESE ARE TRANSMITTED as checked below:

☐ For Approval as Submitted
☒ For Approval as Submitted with Additional Comments per Staff Report

REMARKS: Gladstone Sonic is proposing to demolish the existing store on N. Oak Trafficway and construct the new prototype store. This store would be similar to the store built about two (2) years ago at N. Oak Trafficway and Hwy. 152.


The owner is proposing to remove the existing pole sign and construct a new compliant monument sign. There will be no changes to the ingress/egress to the site. The plans indicate that the trash enclosure and out building being located at the southwest corner of the property. The owner will be relocating these two (2) structures to the northwest corner, which is where they are located presently.

The structure will consist of stone and slate tile with metal awnings. There will be two (2) drive-in canopies located on the north side of the building. The colors of the materials used and the proposed landscaping meet with our site design requirements.

Attached please find the staff report, which the owner is agreeable too. Also find attached the elevation showing the color scheme, site plan, landscape plan, floor plan and photometric plan. Based on the photometric plan the lighting meets with our requirements for lighting onto adjacent properties.

Copy to File

Signed: 
Alan D. Napoli, C.B.O.
Interim Director of Community Development

Signed: 
Scott C. Wingerson
City Manager

BUILDING PERMIT STAFF REPORT	
To:	City Council
From:	Community Development
BP File No.:	16-00570
Date:	August 1, 2016

GENERAL INFORMATION	
Business/Property Name:	Sonic
Applicant:	Gary Simon
Status of Applicant:	Owner
Owner:	Gary Simon
Requested Action:	Approval of Building Permit
Purpose:	Demolish Existing Store and Rebuild New Store
Location:	7112 N. Oak Trafficway
Size:	1,425 sq. ft.

ZONING	
Existing Land Use:	CP-2
Surrounding Land N:	C-2 and CP-3
Use and Zoning:	E: CP-2
	W: CP-2
	S: CP-2
Comprehensive Plan:	Commercial
Zoning History:	N/A

Applicable Regulations:	2015 IBC, 2015 IEBC, 2014 NEC, 2015 IFC, 2015 IECC, 2015 IFGC, 2015 IMC, 2015 IPC, 2015 ISPSC and ICC A117.1-2009
--------------------------------	---

ADDITIONAL COMMENTS

General Comments:

1. Need fire suppression plans for hood systems.
2. No Civil plans submitted.

Cover Page:

1. Code Data/Applicable Codes – Accessibility: This shall denote “ICC A117.1-2009”

Sheet SD1:

1. Site Key Note #7 – Indicates to refer to Civil Drawings for location of grease trap; no civil drawing supplied to refer to.

Sheet SD2:

1. Dumpster enclosure shall be constructed with materials and color consistent with the primary building.
2. Out building shall be constructed with materials and color consistent with the primary building.

Sheet SD3:

1. Toilet Clearance – Vertical grab bar required.

Sheet A2A:

1. All mechanical equipment on the roof shall be screened by a parapet wall a minimum of twelve (12) inches above the tallest piece of mechanical equipment.

Sheet E2:

1. All exterior lights shall be LED
2. Additional emergency lighting shall be installed in the following locations:
 - a. Women 110,
 - b. Men 111,
 - c. Kitchen 104 and
 - d. Storage 105.

Sheet E3:

1. Smoke detectors shall be installed in RTU1 and RTU2.

Sheet M1:

1. Smoke detectors shall be installed in RTU1 and RTU2.

Sheet P1:

1. Plan 01 “Drain Waste and Vent Plan” – Indicates to refer to Civil Drawings for continuation of sewer service line; no civil drawings supplied to refer to.

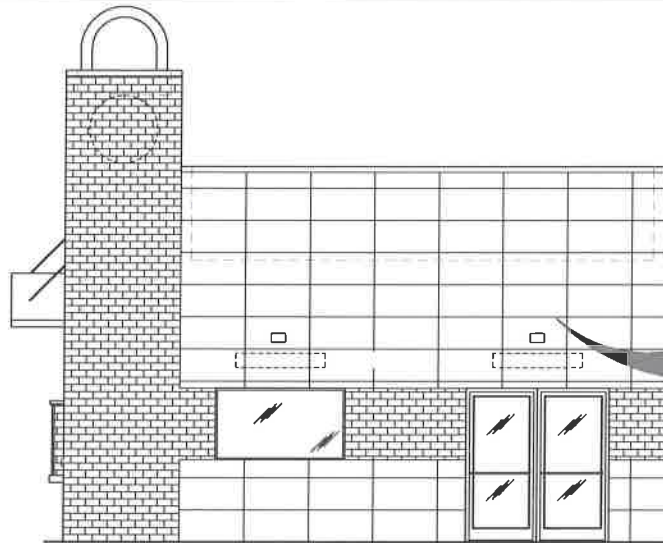
Sheet P1A:

1. Plumbing Key Note #30 – Indicates to refer to Civil Drawings for continuation for 1-1/4” CW Entrance; no civil drawings supplied to refer to.

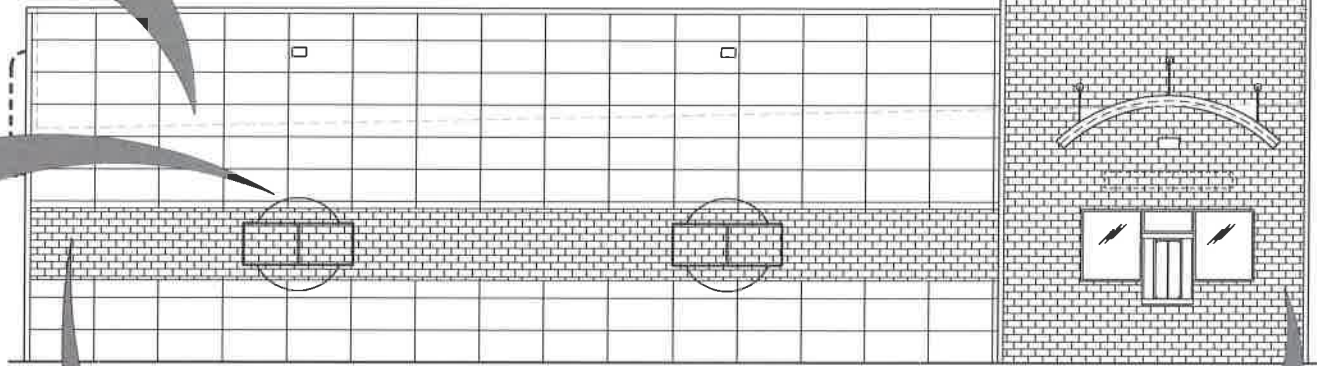
Sheet P2:

1. 02 Grease Trap Detail / Engineering Data – Hydraulics shall be based on the 2015 International Plumbing Code not the Uniform Plumbing Code.
2. 02 Grease Trap Detail – Indicates to refer to Civil Drawings for exact size; no civil drawing supplied to refer to.

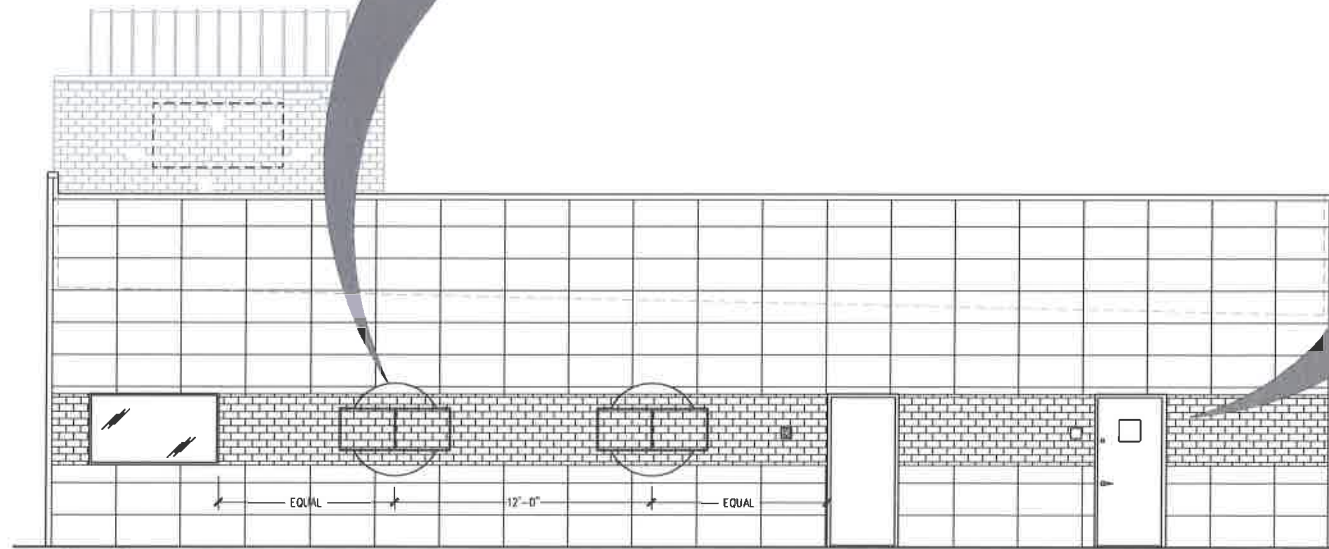
All Parties are agreeable to the aforementioned comments.



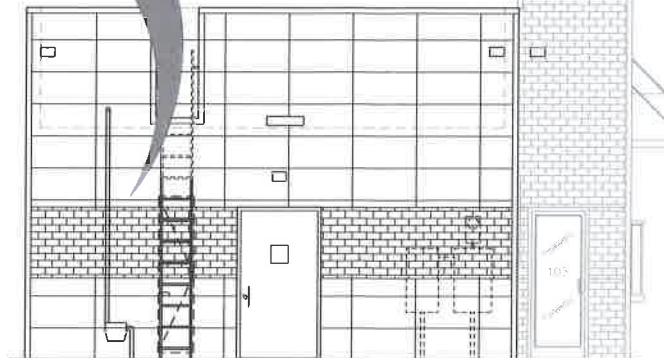
01 FRONT ELEVATION
1/4" = 1'-0"



03 LEFT ELEVATION
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04 RIGHT ELEVATION
1/4" = 1'-0"



02 REAR ELEVATION
1/4" = 1'-0"



NO	DATE	ISSUES AND REVISIONS	
		REVISION	DATE
1	12-15-13	Revised	
2	08-20-18	Revised	
3			
4			
5			
6			
7			
8			
9			
10			

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SONIC DRIVE-IN BRAND PROPERTIES LLC
AMERICA'S DRIVE-IN BRAND PROPERTIES LLC
THESE DRAWINGS ARE NOT TO BE USED FOR ANY PURPOSES
OTHER THAN THE CONSTRUCTION OF THE DRIVE-IN AT THE SPECIFIC LOCATION

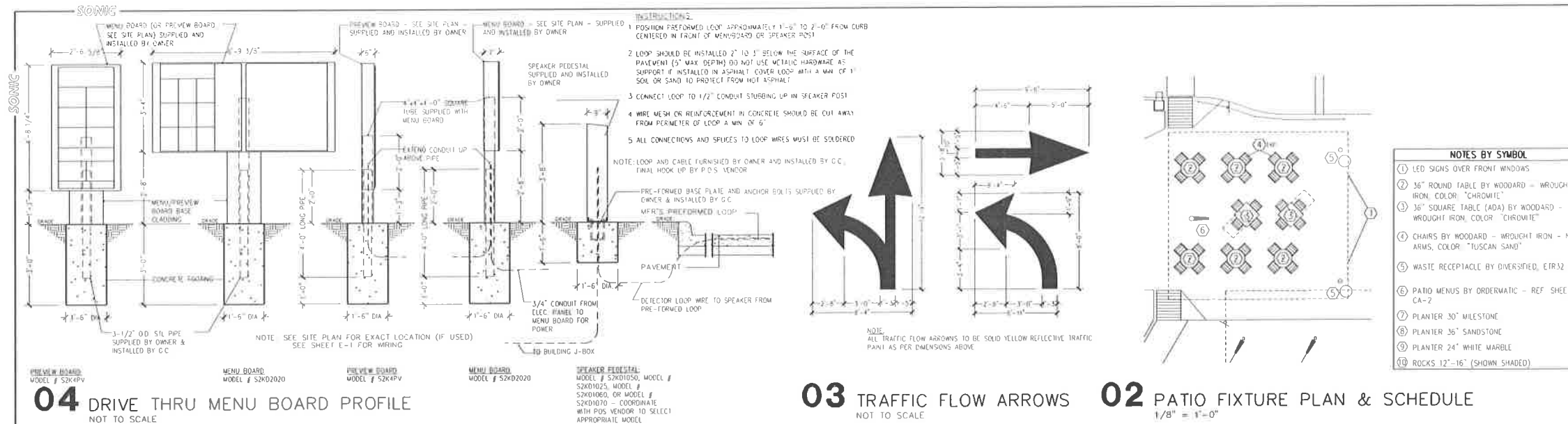


SONIC DRIVE-IN

7112 N. Oak Trafficway
Gladstone, Missouri 64118
ELEVATIONS - FINISHES

SHEET
A2b

DWG: 2122-A2b

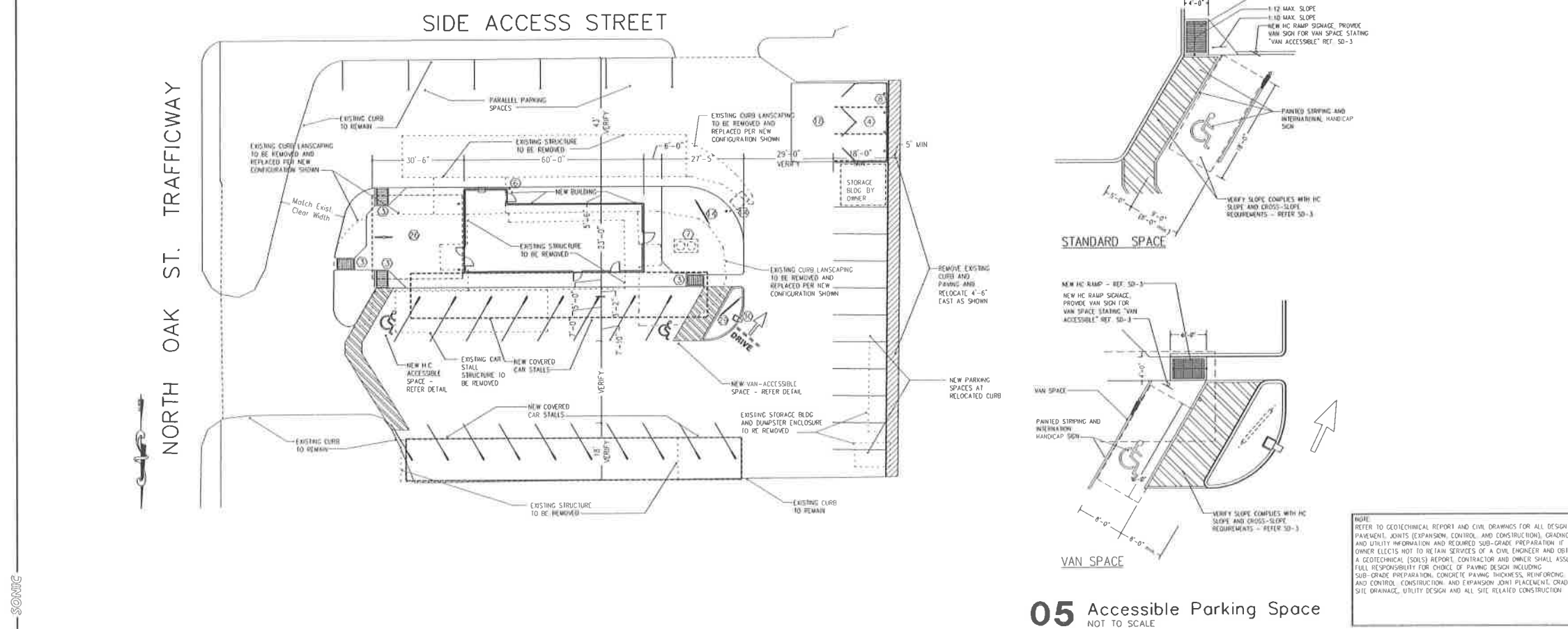


GENERAL NOTES:

- ALL DIMENSIONS AT CURBS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL AND PRACTICAL INSTALLATION
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES AND CIRCUITING
- LOCATIONS OF PYLON / MONUMENT SIGNS AND ENTER / EXIT SIGNS ARE NOT EXACT. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS WITH OWNER / CONSTRUCTION MANAGER
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. TOP SOIL TO BE ADDED TO THE LEVEL OF THE WALKS OR CURBS
- REFER TO CIVIL DRAWINGS FOR DETAILS ON ALL CONCRETE WALKS, CURBS, CUTTERS & PAVING, INCLUDING CONTROL AND EXPANSION JOINTS

SITE PLAN KEYNOTES

ITEM	NOTE
1	TRAFFIC FLOW ARROW (TYPICAL), REF. SD-03
2	4" PAINTED STRIPES (TYPICAL), REF. SPECIFICATIONS, SECTION 02500, SHEET SP-1
3	CURB RAMP (TYPICAL), REF. SD-3
4	TRASH ENCLOSURE, REF. SD-2
5	RAILING, REF. SD-2
6	BOLLARD, REF. SD-2
7	GREASE TRAP, REF. P2-02. REFER TO CIVIL DRAWINGS FOR VERIFICATION OF EXACT LOCATION
8	DUMPSITE BOLLARD, REF. SD-2
9	NOT USED
10	NOT USED
11	NOT USED
12	NOT USED
13	NOT USED
14	ORDER BOARD AND DETECTOR LOOP, REF. ELEC.
15	MENU / CHPY POST (TYPICAL), REF. CA-1
16	NOT USED
17	CONCRETE OR ASPHALT PAVING, REF. CIVIL DRAWINGS OR OWNER
18	NOT USED
19	"CARHOP CROSSING" SIGNAGE, REF. SD-2
20	"PICK UP ORDER HERE" SIGNAGE, REF. SD-2
21	NOT USED
22	POLE MOUNTED FLOOD LIGHTS - RE. ELEC.
23	NOT USED
24	NOT USED
25	NOT USED
26	REF. SD-02 FOR PATIO LAYOUT AND FURNISHINGS
27	NOT USED
28	PREVIEW BOARD REF. SD-04
29	NOT USED
30	TRASH CAN



SIGN SCHEDULE

ITEM	REFERENCE	SIGN TYPE
A	-	PYLON SIGN
B	SD-09	ENTER SIGN
C	SD-09	EXIT SIGN
D	SD-11	HANDICAPPED PARKING SIGN

LEGEND:

- PROPERTY LINE
- EASEMENT / BUFFERS
- BUILDING SETBACK LINE
- SITE PLAN NOTE
- CUSTOMER PARKING STALL
- EMPLOYEE PARKING STALL
- SIGN (SEE SCHEDULE)

SONIC

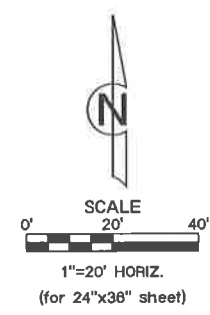
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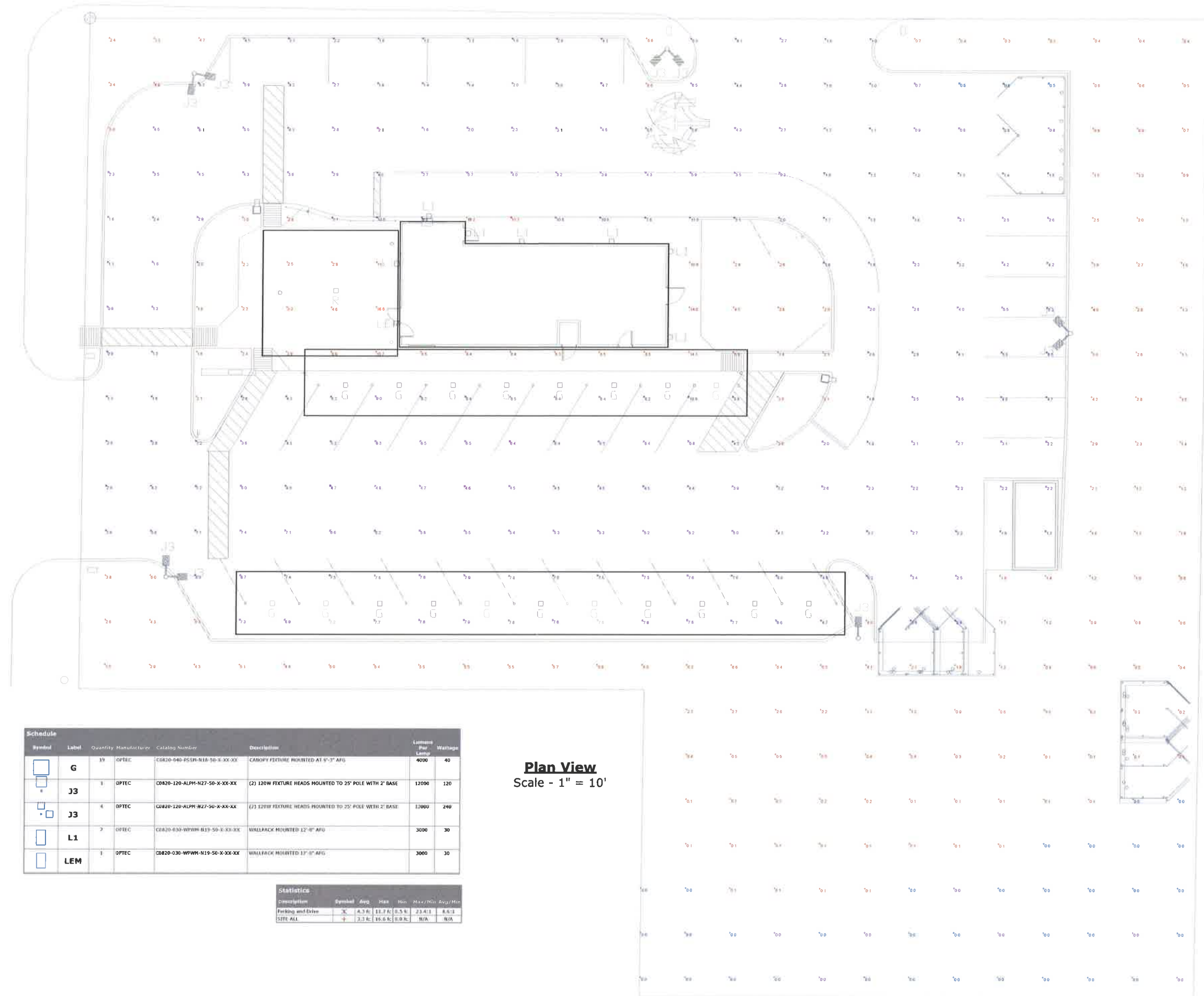
SONIC DRIVE-IN
7112 N. Oak Trafficway
Gladstone, Missouri 64118

SITE PLAN & SITE DETAILS

SHEET SD1
DWG: 2122-SD1



Prepared for City Permit Submittal



Schedule						
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp Wattage
	G	19	OPTEC	CD820-040-PSIP-N18-50-X-XX-XX	CANOPY FIXTURE MOUNTED AT 9'-3" AFS	4000 40
	J3	3	OPTEC	CD820-120-ALPH-N27-50-X-XX-XX	(2) 120W FIXTURE HEADS MOUNTED TO 25' POLE WITH 2' BASE	12000 120
	J3	4	OPTEC	CD820-120-ALPH-N27-50-X-XX-XX	(2) 120W FIXTURE HEADS MOUNTED TO 25' POLE WITH 2' BASE	12000 240
	L1	2	OPTEC	CD820-030-WPWH-N19-50-X-XX-XX	WALLPACK MOUNTED 12'-8" AFS	3000 30
	LEM	1	OPTEC	CD820-030-WPWH-N19-50-X-XX-XX	WALLPACK MOUNTED 12'-8" AFS	3000 30

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking and Drive	X	4.3 FC	11.7 FC	0.5 FC	23.4:1	8.6:1
SITE ALL	+	2.2 FC	16.6 FC	0.0 FC	N/A	N/A

Plan View
Scale - 1" = 10'