ORDINANCE NO. 4.360

BILL NO. 16-32

AN ORDINANCE APPROVING A SITE PLAN REVISION FOR PROPERTY AT 7112 NORTH OAK TRAFFICWAY, COMMONLY KNOWN AS SONIC DRIVE IN.

WHEREAS, pursuant to Section 32-37 of Ordinance No. 2.292 being of the Gladstone Zoning Ordinance, public notice was made of a request for site plan approval at 7112 North Oak Trafficway; and

WHEREAS, public hearings have been held after the publishing of the required notices; and

WHEREAS, the City Council finds that the planned development does not materially injure the property and the uses of the properties immediately adjacent to the proposed development; and

WHEREAS, the City Council finds that the site plan presents a unified and organized arrangement of buildings and facilities which have a functional relationship to the property comprising the development; and

WHEREAS, the City Council finds it is in the best interest of the citizens of the City of Gladstone that the site plan submitted by the applicant be approved subject to the terms and conditions set forth herein.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF GLADSTONE, MISSOURI, AS FOLLOWS:

SECTION 1. SITE PLAN APPROVAL.

The Site Plan for 7112 North Oak Trafficway is hereby approved subject to the terms and conditions set forth herein:

- 1) Existing pole/pylon sign shall be removed; any new signage shall comply with the City's Sign Ordinance.
- 2) All exterior existing lighting shall be converted to LED.
- 3) Dumpster enclosure and out building shall be located in the NW corner of the property.
- 4) Dumpster enclosure shall be constructed with materials and color consistent with the primary building.
- 5) Trash service shall be scheduled between the hours of 7:00am to 10:00pm.
- 6) Only one (1) outbuilding shall be permitted on the premises.
- 7) Out building shall be constructed with materials and color consistent with the primary building.
- 8) All disturbed grassed areas shall be sodded.

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- 9) All cultivated, manicured grass and landscaped areas shall be irrigated and maintained in perpetuity.
- 10) All mechanical equipment on the roof shall be screened by a parapet wall a minimum of twelve (12) inches above the tallest piece of mechanical equipment.
- 11) Tractor trailers and other commercial vehicles shall not be parked or be stored overnight on the premises.

SECTION 2. SEVERABILITY CLAUSE. The provisions of this ordinance are severable and if any provision hereof is declared invalid, unconstitutional or unenforceable, such determination shall not affect the validity of the remainder of this ordinance.

PASSED, SIGNED, AND MADE EFFECTIVE BY THE COUNCIL OF THE CITY OF GLADSTONE, MISSOURI, THIS $8^{\rm TH}$ DAY OF AUGUST 2016.

Jean B. Moore, Mayor

ATTEST:

Ruth Bocchino, City Clerk

First Reading:

August 8, 2016

Second Reading: August 8, 2016

File #1426

Community Development Department Staff Report



Date: July 15, 2016

File #: 1426

Requested Action: Site Plan Revision

Date of PC Consideration: August 1, 2016 (Voted 8-yes, 0-no)

Date of Council Consideration: August 8, 2016

Applicant:

Gary Simons

7112 N. Oak Trafficway Gladstone, MO. 64118

Owner:

Northland Sonic

7112 N. Oak Trafficway Gladstone, MO. 64118

Architect:

AVANT Design Group, Inc.

P.O. Box 59226 Dallas, TX. 75229

Engineer:

Lutjen

1301 Burlington, #100

North Kansas City, MO. 64116

Address of property: 7112 N. Oak Trafficway

Planning Information

Current Zoning: CP-2

Zoning History: None recent

Planned Land Use: Planned General Business District

Streetscape Guidelines: Comprehensive Plan, Appendix C and D.

Applicable Regulations: Zoning and Subdivision Ordinance and Comprehensive Plan

Additional Information

Public Utility Availability: Existing

Ingress/Egress: Provided via existing full access on N. Oak Trafficway and from the road to the south.

Traffic Division Comments: None

Parking Required: 15

Parking Provided: 38-On site parking spaces provided

Proposed On-Site Improvements: None Proposed Off-Site Improvements: None

Proposed Landscaping: Improved landscaping of the existing landscaped areas

Proposed Signage: Existing pole/pylon sign to be removed per City ordinance; owner proposes

to keep existing pole/pylon sign.

Recommended Conditions

- 1. Existing pole/pylon sign shall be removed; any new signage shall comply with the City's Sign Ordinance.
- 2. All exterior existing lighting shall be converted to LED.
- 3. Dumpster enclosure and out building shall be located in the NW corner of the property.
- 4. Dumpster enclosure shall be constructed with materials and color consistent with the primary building.
- 5. Trash service shall be scheduled between the hours of 7:00am to 10:00pm.
- 6. Only one (1) outbuilding shall be permitted on the premises.
- 7. Out building shall be constructed with materials and color consistent with the primary building.
- 8. All disturbed grassed areas shall be sodded.
- 9. All cultivated, manicured grass and landscaped areas shall be irrigated and maintained in perpetuity.
- 10. All mechanical equipment on the roof shall be screened by a parapet wall a minimum of twelve (12) inches above the tallest piece of mechanical equipment.
- 11. Tractor trailers and other commercial vehicles shall not be parked or be stored overnight on the premises.

Analysis

The applicant is requesting site plan approval for the purpose of demolishing the existing structure and constructing a new 1,452 sq. ft. structure, which is slightly smaller than the existing structure. The new structure being proposed is Sonic's new prototype. The size, location and shape of the building are consistent with the existing building that is being demolished and meets with the Comprehensive Plan's existing land use and future land use.

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The existing pole/pylon does not meet with the requirements of the City's sign ordnance and needs to be brought into compliance with the sign ordinance.

Staff is recommending that all existing exterior lighting that is remaining be converted to LED. This action supports the concept of sustainability recommended in the Comprehensive Plan.

The existing landscaping is being upgraded and conforms to the Comprehensive Plan and the N. Oak Trafficway landscaping to the south.

Recommendation

The Staff recommends that the request be **approved** contingent upon compliance with the above recommended conditions.



PLANNING COMMISSION GLADSTONE, MISSOURI Council Chambers August 1, 2016 7:00 pm

Item 1 on the Agenda: Roll Call.

Present:

Ms. Alexander

Mr. Markenson Ms. McGee Mr. New Mr. Turnage Mr. Whitton Mr. Yarber

Chairman Ringhausen

Absent:

Ms. Poindexter

Mr. Ward Mr. Williams

Council & Staff Present:

Mayor Pro Tem RD Mallams Scott Wingerson, City Manager

Alan Napoli, Interim Comm. Dev. Director

Melinda Mehaffy, Econ. Dev.

Item 2 on the Agenda: Pledge of Allegiance.

Chairman Ringhausen led the group in reciting the Pledge of Allegiance.

Item 3 on the Agenda: Approval of the June 6, 2016 minutes.

MOTION: By Mr. Turnage, second by Mr. Whitton to approve the June 6, 2016 minutes as presented. All said aye. The motion carried.

<u>Item 4 on the Agenda:</u> PUBLIC HEARING: on a Site Plan Revision at 7112 N. Oak Trafficway. Applicant/Owner: Gary W. & Elizabeth D. Simons. File #1426.

Chairman Ringhausen briefly explained the public hearing process then called on Interim Director Napoli for the staff report.

Alan Napoli reported that tonight's application is for the Sonic located at 7112 N. Oak Trafficway. It is currently a CP zone so it is a planned, zoned district. The applicant is proposing to demolish the existing structure, including the three canopies and build a new

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structure primarily in the same location. They will be using the same ingress and egress so there will be no change coming in or leaving the property. They are planning on removing the existing pole sign and replacing it with a compliant monument sign. Currently they only need 15 parking spaces; however, they will have about 38 with the new construction. The owner is proposing to do some new landscaping along the North Oak section and they will be irrigating. Any grassy areas that are disturbed they will be sodding and irrigating. Mr. Napoli noted on the plans a trash enclosure and an out-building in the southwest corner of the site. Those two items are being relocated to the back northwest corner. There are eleven recommended conditions, all of which the applicant has agreed to.

Mr. Napoli stated that the structure that is proposed is actually smaller than the existing building. It is still all outdoor drive-thru, which will be on the south side. They will only have two canopies when they reconstruct, which will be on the north side, for drive-in access. He offered to answer any questions at this point.

Mr. Turnage wondered if the dumpster enclosure keeps people from doing illegal dumping.

Mr. Napoli replied that if it is locked it can help with that. Primarily, staff asks for it more for aesthetic purposes. Dumpsters aren't always neat looking.

Mr. New noticed this building will be the new proto-type, but he wondered if the parking will serve more customers or less.

Mr. Napoli answered that they will actually have the same amount of parking spaces when it's all said and done with the primary business being done through the drive-thru.

Mr. New asked how long construction is expected to take.

Mr. Napoli said it should typically take about four months on average, depending on weather.

Chairman Ringhausen asked about the lighting plan and wondered if there was an existing versus new comparison.

Mr. Napoli said he doesn't have a plan on the before and after lighting. The new lighting plan does meet the City's requirements as far as bleed-out onto adjoining property, which is not greater than .25 bleed-out ten feet outside their property.

Hearing no further questions of staff, Chairman Ringhausen called on the applicant.

Brian Forquer, Lutjen a Division of Olsson, 1301 Burlington. North Kansas City, MO 64116, addressed the Commission. Mr. Forquer said he is here tonight representing Gary Simons of Sonic. They appreciate the Commission hearing their application for a Site Plan Revision tonight. As staff mentioned, they will be keeping the same ingress/egress points. This building as it exists right now is about 29 years old and so in order to update to the new Sonic prototype, new equipment and site circulation they are here for a site plan review. They agree with the eleven conditions that Mr. Napoli mentioned and are here to answer any questions.

Mr. Markenson asked when they intended to begin this project.

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Mr. Forquer replied that the developer would like, pending approval tonight and with the City Council next week, to start demolition by September 1st.

Mr. Markenson asked about the four month time frame.

Mr. Forquer said he usually says six months for construction; however, he hasn't looked at a timeline yet. He also added that as staff mentioned they do have a new lighting plan and they are the LED lights.

Mr. Turnage asked if there was any part of the existing structure that can be used with the new construction.

Mr. Forquer answered no. Based on the slight shift of the building and reconfiguration it's going to be simpler to tear down and rebuild.

Mr. Turnage asked if that would include the foundation.

Mr. Forquer said yes.

Chairman Ringhausen asked if there are any projections as to customer traffic coming into the facility or if the owner is anticipating the same traffic that visits Sonic now.

Mr. Forquer said he's going to say he'll expect about the same traffic going through there based on traffic patterns. He'd probably like to see more, but he hasn't talked with Mr. Simons specifically about that at this point. A lot of this change is about new equipment and operations coming up to current Sonic standards.

Chairman Ringhausen called for those in favor of the application to come forward. Hearing none, he called for those in opposition.

Kenneth Pruitt, 18285 S. Ridley Road, Smithville, MO 64089, stated that he has the building north of Sonic. They [developer] said they're going to tear down everything to rebuild. He wanted to know if this is going to cause any other problems to adjoining buildings like his. They don't maintain mowing the property as it is now. What are they going to do about policing the area...keeping the trash picked up?

Mr. Markenson asked if his concern was stormwater.

Mr. Pruitt said he is concerned that if they have to go in and tear out the concrete and everything....his building was built in the 1950's so it's pretty old. Is this going to create any problems with jarring and whatever might occur with his building.

Mr. Markenson said it sounds like his [Mr. Pruitt's] concern is with the demolition.

Mr. Yarber asked Mr. Pruitt how close his building is to the property line.

Mrs. Pruitt said it meets their property line.

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Mr. Yarber said he was asking about the building, not the property line.

Mrs. Pruitt said their building is Signs Now. She asked Mr. Yarber if he was familiar with it.

Mr. Yarber said he knows where it's at, but he can't picture how far it is.

Mr. Napoli brought the site plan up on the overhead screen and pointed out the properties being discussed.

Mrs. Pruitt said they get all their [Sonic's] runoff and all their trash blows into their driveway.

Mr. Yarber said nothing is happening in the undeveloped area, is that correct? Also, what is happening to the actual paving that is already there?

Mr. Napoli answered that the paving that is already there will remain for the parking lot area.

Mr. Yarber said where there are parking spots now, they will remain?

Mr. Napoli said that is correct.

Mr. Yarber asked how the demolition work will be done...with an excavator?

Mr. Forquer answered yes, it will be bid out. It could be dis-assembled; he's not sure about those details at this point. As much of the pavement they can leave, they will. The curb line on the outside will remain and that will be the limit of where they will do their work. They could end up using the undeveloped area for staging, but they are not doing any improvements in that area.

Discussion ensued regarding how far the Sonic building would be from the Signs Now building.

Mr. Whitton asked if the City has an easement for a street that used to go back to Malone's Lawn and Landscape.

Mr. Napoli said that is a private drive for the old Malone property; there is not a street right of way there.

Mr. Whitton thought there was a street cut there.

Mr. Napoli said there is.

Mr. Whitton asked if the grassy area that is not getting mowed belongs to Sonic.

Mr. Forquer answered yes it does and he will relay the information about mowing and cleaning up the trash to the owner.

Mr. Yarber asked if the grassy, undeveloped area is the part that is not kept up very well.

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Mr. Pruitt said yes; back in the 50's there was only about 6' from his building to the property line.

Mr. Yarber asked Mr. Pruitt if it's not mowed as often as he thinks it should be.

Mrs. Pruitt said it's never mowed.

Mr. Yarber asked what kind of trash ends up on their property.

Response from Mr. and Mrs. Pruitt was inaudible. Mr. Pruitt showed Mr. Yarber a picture he took on Sunday of some trash.

Mr. New asked Mr. Forquer if he would be able to address Mr. Pruitt's concerns.

Mr. Forquer answered yes. He can talk to the developer about policing the property and making sure that the lids to the trash dumpsters are closed and also about the mowing. He will also speak with Mr. Pruitt after the meeting tonight.

Mr. New said he thinks the issue is just having some communication between the two.

Chairman Ringhausen also encouraged some additional scrutiny by the Codes Department.

Hearing no further discussion for the public hearing, Chairman Ringhausen closed the public hearing.

MOTION: By Mr. Whitton, second by Mr. Markenson to approve the Site Plan Revision at 7112 N. Oak Trafficway.

Mr. New said he thinks what he heard tonight was one issue with the property who owns a business close to Sonic. He understands that the applicant is going to speak with the business owner to address the concerns and hopefully that will solve everyone's issue.

Mr. Yarber asked if they should consider an additional recommended condition that the unimproved area is better maintained. He asked if this is addressed by a code.

Chairman Ringhausen read #9, which states that all cultivated, manicured grass and landscaped areas shall be irrigated and maintained in perpetuity. This would indicate that they are responsible for maintaining their property.

Mr. Yarber said that looking at condition #9, it could be interpreted that cultivated, manicured and landscaped areas might not be "unimproved" areas. He suggested maybe adding another phrase to that sentence.

Chairman Ringhausen asked Mr. Yarber what he would propose.

Mr. Yarber suggested adding "and unimproved areas."

Mr. Markenson didn't think we want an unimproved area to be irrigated, do they? It seems to him that there are basic codes to solve these problems. Anyone who lets their weeds grow

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beyond a certain height are notified by the City. As far as trash blowing, that's also a nuisance they can be cited for. It might be that the City's existing codes can handle this problem.

Mr. Turnage said if they're going to add any kind of condition he thinks it should be about communication between the developer and the business owners present tonight.

Chairman Ringhausen asked if that would be appropriate to include in the conditions set forth.

Mr. Napoli answered that it can be; however, he would suggest that we check with the owner's representative to see if they would be agreeable. If not, it may be something that he can discuss with the owner of the property.

Mr. Whitton said he didn't think they need to add anything. The City's weed ordinance will take care of it. We don't need to police it. He really doesn't see a need to tack anything on to this ordinance.

Chairman Ringhausen reminded the Commission of the current motion on the table which is to approve the Site Plan Revision at 7112 N. Oak Trafficway with the eleven recommended conditions and the understanding that there will be additional communication with Codes in relation to the undeveloped property.

Hearing no further discussion, he called for a vote.

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Ms. Alexander	Yes
Mr. Markenson	Yes
Ms. McGee	Yes
Mr. New	Yes
Mr. Turnage	Yes
Mr. Whitton	Yes
Mr. Yarber	Yes
Chairman Ringhausen	Yes

The motion carried. (8-Yes, 0-No) This application will move forward to the City Council on Monday, August 8, 2016.

Item 5 on the Agenda: Communications from the City Council and the City Staff.

Mr. Napoli announced that there will be two applications for the August 15th Planning Commission meeting; a re-plat and a site plan revision.

Mayor Pro-Tem Mallams thanked the Commission for approving this site plan revision; it was the right thing to do. He also thanked the Pruitts for coming and voicing their concerns; he is sure they will be addressed. He also asked the applicant to thank the owners for staying in Gladstone and re-developing. Mr. Mallams announced the ribbon cutting for Linden Woods Village on Sunday, August 21st at noon. The Northland Innovation Center is going to be open and ready to receive kids for the new school year. He said it is amazing to think that after a year of planning and a year of construction it is ready to go! There are exciting times coming for Gladstone: a new McDonalds, a new Quiktrip and a new Sonic.

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Mr. Markenson said he's heard rumors that the independent living at Linden Woods Village is almost full; he asked if that is true.

Mayor Pro-Tem Mallams said that is true.

Mr. Markenson asked about the skilled nursing section.

Mayor Pro-Tem Mallams said it is not full yet. They are bringing in a couple of people every so many days as a transition for the patients and the staff. One of their biggest concerns right now is finding good, quality employees.

City Manager Wingerson said to follow up on Mayor Pro-Tem comments, the ribbon cutting for Northwest Missouri State is Thursday, August 18th, 4-6 pm.

Item 6 on the Agenda: Communications from the Planning Commission Members.

Ms. Alexander asked how the renting of the commercial space of the Heights is going.

Melinda Mehaffy addressed the Commission and reported that they have probably seen the new signage at the property. These signs show the number for the new leasing agent, Clemens Real Estate. They specialize in retail development and were actually showing the property this morning.

Ms. Alexander asked about the status of the Conoco station on Antioch Road.

Mr. Napoli answered that staff has not heard anything more from the general contractor. Their current building permit expires the first part of September, after which they would have to start some of the process over again.

Ms. Alexander understands that Woodbine is going to be made into senior housing; she asked if that were true.

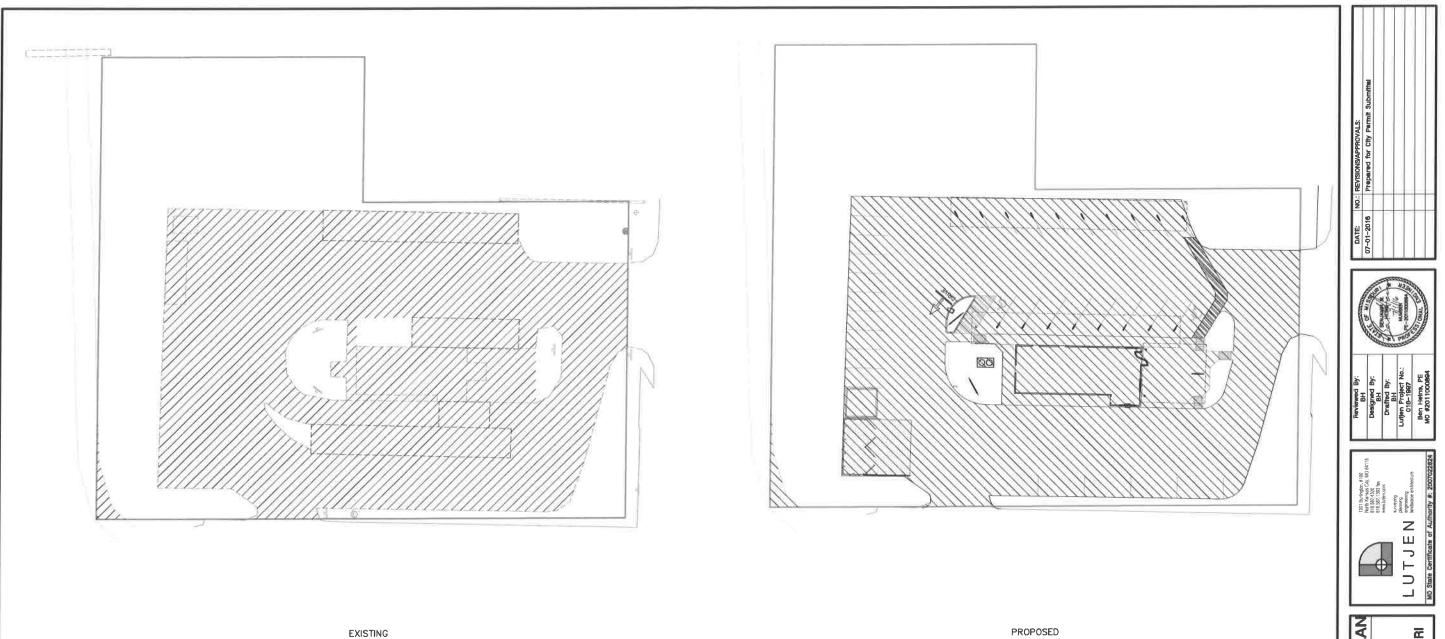
Mr. Napoli said a developer has expressed interest in the property as independent living; however, he does not own the property yet.

Chairman Ringhausen encouraged everyone to vote tomorrow.

Item 7 on the Agenda: Adjournment

Chairman Ringhausen adjourned the meeting at 7:37 pm.				
Respectfully submitted:				
Alan Ringhausen, Chairman	Approved as submitted			
Becky Jarrett, Recording Secretary	Approved as corrected			

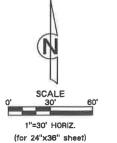
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IMPERVIOUS AREA DATA	
Impervious Area (SF)	26,731

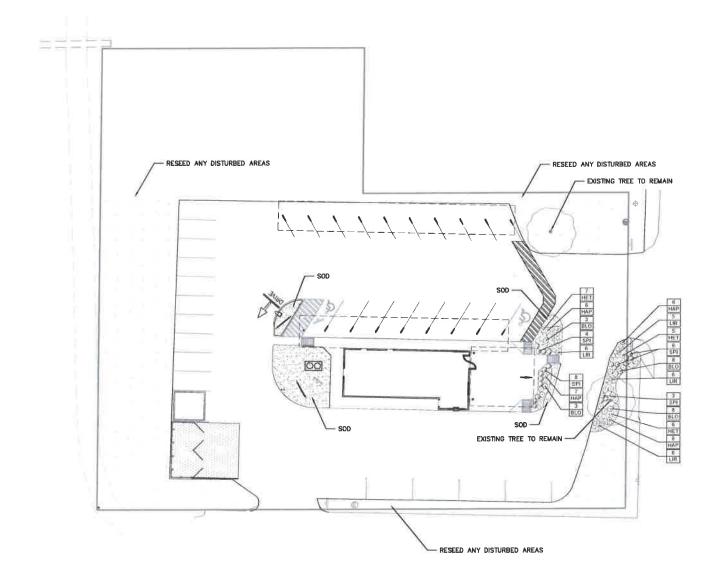
PROPOSED

IMPERVIOUS AREA DATA	
Impervious Area (SF)	26,718
Proposed Change (+/-) Impervious Area (SF) (Compared to Existing Site Plan)	-13



STORMWATER MANAGEMENT PLAN

SONIC
7112 N. OAK TRAFFICWAY
GLADSTONE, CLAY COUNTY, MISSOURI



PLANT SCHEDULE

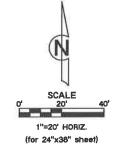
SHRUBS	CODE	OTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE
G.	SPI	21	Spirace japonica Yan' / Yan Double Play Gold Spires	Conl	18" SP.
	HET	18	Thuja occidentalis: Helz Midgel / Helz Midgel Arborvitae	Conl	12" HT
GRASSES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE
(1)	BLO	22	Boutelous gracilis Blonde Ambition / Blonde Ambition Blue Grame	1 gai	
PERENNIALS	CODE	QTY	BOTANICAL NAME I COMMON NAME	CONT	SIZE
\odot	HAP	27	Hemerocallis x Happy Returns / Happy Returns Daylily	1 gel	
O	ЦR	23	Liriope muscari "Big Blue" / Big Blue Lilyturi	1 gal	
SOD/SEED	YTQ	BOTANICAL NAME / COMMON NAME	CONT		
	9,739 ы	Festiva arondinaces / Tall Festive	Seed		
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- NOTES:

 1. Quantities listed in the plant list schedule are for estimates only. Trees, shrubs, and ground cover of contract quantities shall be the number of items shown on the drawings.

 2. The Landscape Contractor is responsible for verifying all quantities shown on these plans before pricing the work. Any difference in quantities should be brought to the attention of the Landscape Architect for clarification.

 3. All planting beds shall be mulched and have a shovel cut edge.



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SONIC
7112 N. OAK TRAFFICWAY
GLADSTONE, CLAY COUNTY, MISSOURI LANDSCAPE PLAN

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GENERAL NOTES:

I. SITE CONDITIONS:

- 1. THE CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND FREE FROM RUBBISH AND ALL DEBRIS ASSOCIATED WITH THEIR WORK AT ALL TIMES. ALL UNUSED MATERIALS AND DEBRIS SHALL BE REMOVED FROM THE SITE.

 2. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO: DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND TO INCLUDE ANY WORK IN THE CITY R.O.W. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.

 3. CONTRACTOR SHALL COMPLY WITH SPECIFICATIONS PRIOR TO COMMENCEMENT OF ANY TYPE OF WORK.

 4. ALL DISTURBED AREAS OUTSIDE OF THE SEEDING LIMITS AS SHOWN ON THE PLANS ARE TO BE RESTORED BACK TO THE ORIGINAL CONDITIONS WITH TURF TYPE TALL FESCUE SEED.
- SEED. THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WITH WORK UNTIL THE SITE IS FREE OF DEBRIS ACAUSED BY ONGOING CONSTRUCTION OPERATIONS, REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ELEVATIONS IN THE FIELD BEFORE STATTING WORK, AND NOTIFY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES, BETWEEN DRAWINGS AND FIELD CONDITIONS IF ENCOUNTERED.

NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AND RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL PUBLIC AND PRIVATE UNDERGROUND OR CONCEALED CONDUIT, PLUMBING OR OTHER UTILITIES WHERE NEW WORK IS BEING PERFORMED. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC., WHICH OCCUR AS A RESULT OF THE LANDSCAPE CONSTRUCTION. CONTRACTOR SHALL MAINTAIN STACES SET BY OTHERS UNTIL ALL PARTIES CONCERNED MUTUALLY AGREE UPON REMOVAL. IN NO CASE SHALL LANDSCAPE MATERIAL BE PLANTED IN A WAY WHICH WILL INTERFERE WITH OR CAUSE DAMAGE TO OVERHEAD OR UNDERGROUND UTILITIES.

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V. REQUIREMENTS:

ALL WORK SHALL CONFORM TO ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR INSTALLATION AND MAINTENANCE.

- THE CLEARZONE SHALL BE MAINTAINED AT ALL INTERSECTIONS THAT INGRESS AND EGRESS TO THE SITE. IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE PLANT MATERIAL AT A HEIGHT OF NOT OVER THIRTY (30) INCHES ABOVE PAVEMENT AND PROVIDE UNOBSTRUCTED SIGHT DISTANCE FOR DRIVERS IN VEHICLES APPROACHING THE INTERSECTION.
- INTERSECTION.

 VERTICAL CLEARANCE OF AT LEAST EIGHTY (BD) INCHES MUST BE PROVIDED ABOVE WALKS AT ALL TIMES. IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN TREES AND OTHER OVERTANDING DEBLECTS TO PROVIDE ADEQUATE HEADROOM TO COMPLY WITH ADA

- 1. SHOULD A CONFLICT ARISE BETWEEN SPECIFICATIONS, CODES, STANDARDS, ORDINANCES AND PLANS, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.

 2. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, SUCH DETAILS SHALL BE THE SAME AS FOR SMILAR WORK SHOWN ON THE DRAWING AND SHALL MEET WITH MANUFACTURER'S SPECIFICATIONS.

MEASUREMENTS:

- 1. BEFORE COMMENCING WORK OR ORDERING ANY MATERIALS. THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND SHALL BE RESPONSIBLE FOR THEM BEING CORRECT.

 ANY DISCREPANCIES SHALL BE REPORTED TO THE PROJECT ENGINEER OR LANDSCAPE
 ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIFFERENCES BETWEEN
 ACTUAL DIMENSIONS. AND MEASUREMENTS INDICATED.
- WRITTEN DIMENSIONS SHALL PREVAIL IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE DRAWING.

- 1. ALL DRAWINGS, SPECIFICATIONS, AND OTHER WORK PRODUCTS DEVELOPED BY LUTJEN, INC. ARE INSTRUMENTS OF SERVICE FOR THIS PROJECT ONLY AND SHALL REMAIN THE PROPERTY OF THE LUTLEN, INC.. INSTRUMENTS OF SERVICE MAY NOT BE USED, REPRODUCED OR CHANGED IN ANY FORM WITHOUT THE PRIOR WRITTEN PERMISSION OF
- REPRODUCED ON CHARGED IN ANY FURNI MILITORY INTO THE FROM MINISTRY INC.

 2. IN THE EVENT ANY CHANGES ARE MADE TO THE PLANS AND SPECIFICATIONS BY OWNER OF PERSONS OTHER THAN LUTJEN, INC., ANY LIABILITY ARISING OUT OF SUCH CHANGES IS WAIVED AGAINST LUTJEN, INC.. OWNER ASSUMES FULL RESPONSIBILITY FOR SUCH CHANGES UNLESS OWNER HAS GIVEN LUTJEN, INC. PRIOR NOTICE AND HAS RECEIVED WRITTEN CONSENT FOR SUCH CHANGES.

ANY CHANGES OR DEVIATIONS FROM THESE PLANS MUST BE APPROVED IN WRITING BY OWNER AND LUTIEN, INC. AND THE LOCAL MUNICIPAL AGENCIES. CHANGES SHALL POSSESS THE SAME CHARACTERISTICS AS INDICATED ON THE PLANS AND SPECIFICATIONS.

- LANDSCAPE CONTRACTOR TO TEST SOIL ON SITE AND PROVIDE RESULTS TO THE CLIENT AND LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
 LANDSCAPE CONTRACTOR TO VERIFY AND GUARANTEE THAT THE ON SITE TOPSOIL WILL SUPPORT GRASS SEED, SOD, AND PLANT MATERIAL.
 LANDSCAPE CONTRACTOR TO RECOMMEND SOIL AMENDMENTS IF SOIL TEST IS NOT
- ACCEPTABLE.

 ACCEP

- LANDSCAPE ISLANDS AND PLANTING BEDS SHALL HAVE WEED BARRIER FABRIC AND 4" OF MULCH. LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLE OF MULCH FOR APPROVAL BY LANDSCAPE ARCHITECT OR ENGINEER. MULCH SHALL CONSIST OF WOOD FIBERS FROM CLEAN, WHOLE UNCOOKED WOOD AND FREE OF SEEDS. MULCH SHALL BE SPREAD TO AN EVEN FINISH RESULTING IN A SMOOTH FINISH FREE OF PILES AND DEPRESSIONS.

 2. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE SAUCER OR LANDSCAPE ISLAND. INCLUDE AN APPLICATION OF PREEMERGENT FOR WEED CONTROL.

CONTRACTOR SHALL SUPPLY THE QUANTITIES NECESSARY TO COMPLETE THE WORK AS SHOWN ON THE DRAWNIGS. QUANTITIES LISTED ON THE PLANT LIST ARE APPROXIMATE ONLY. ANY DIFFERENCE IN QUANTITIES SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER OR THE LANDSCAPE ARCHITECT FOR CLARIFICATION.

- 1. REQUIRED PLANT MATERIALS SHALL CONFORM TO TYPE STATED ON THE PLANT LIST. SIZES SHALL BE THE MINIMUM STATED ON THE PLANT LIST OR LARGER. ALL INSTALLATION AND MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE "A.A.N. STANDARDS FOR NURSERY STOCK" (ANSI ZBO.1) AND WITH THE GENERAL PLANTING SPECIFICATIONS AS SET FORTH BY THE LOCAL MUNICIPAL AGENCY'S
- LANDSCAPE ORDINANCE.

 2. LANDSCAPE PLANT MATERIAL SHALL SATISFY A.A.N. STANDARDS, BE STATE
 DEPARTMENT OF AGRICULTURE INSPECTED, AND NO. 1 GRADE WITH STRAIGHT,
 UNSCARRED TRUNK AND WELL DEVELOPED UNIFORM CROWN (PARK GRADE TREES WILL
- NOT BE ACCEPTED).

 THE PLANT MATERIAL SHALL BE NURSERY GROWN AND INSPECTED BY THE OWNER'S REPRESENTATIVE BEFORE PLANTING. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL AT ANY TIME.
- 4. PLANTS DESIGNATED "BAB" SHALL BE BALLED AND BURLAPPED, WITH FIRM BALLS OF
- EARTH.

 5. ALL INSTALLED PLANT MATERIALS SHALL BE CERTIFIED BY THE STATE OF MISSOURI TO BE DISEASE-FREE AND PEST-FREE AND NOT OF A SPECIES KNOWN TO CARRY OR BE HOST TO DESTRUCTIVE PATHOGENS OR PESTS. PLANTS SHALL BE HEALTHY, VIGOROUS STOCK, GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL
- PRACTICES, FREE OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT.

 8. ALL TREES SHALL HAVE A CENTRAL LEADER AND A RADIAL BRANCHING STRUCTURE, PARK GRADE TREES ARE NOT ACCEPTABLE, ALL SHALL BE BALLED AND BURLAPPED
- (B&B).
 7. PLANT MATERIALS DELIVERED TO SITE AND NOT PLANTED WITHIN 24 HOURS OF DELIVERY SHALL BE "HEELED" AND WATERD IN A SHADED AREA, PROTECTED FROM WEATHER, MECHANICAL DAMAGE AND DEHYDRATION PRIOR TO PLANTING.

1. TRENCH (SHOVEL) EDGING WILL BE PROVIDED BETWEEN ALL PLANTING BEDS AND SOD

- 1. THE CONTRACTOR IS RESPONSIBLE FOR PLANTING THE MATERIALS AT THE CORRECT GRADES AND SPACING. THE PLANTS SHALL BE ORIENTED AS TO GIVE THE BEST APPEARANCE. DO NOT PLANT CLOSER THAN FOUR (4) FEET FROM PROPERTY LINES. 2. PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS.

- SHREDDED BARK RING.

 8. ALL PLANT MATERIAL TO RECEIVE TERRA-SORB SUPERABSORBANT POLYMER, AND GROLIFE OR PHC MYCORRHIZAL FUNGI OR APPROVED EQUALS. FOLLOW MANUFACTURER'S
- SPECIFICATIONS.

 REMOVE THE TREE STAKES AND GUYS AFTER ONE (1) YEAR.

 D. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ROCK, ADVERSE DRAINAGE CONDITIONS OR OBSTRUCTIONS, LANDSCAPE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT BEFORE
- ALL PLANT MATERIAL SHALL BE TAGGED BY AND APPROVED BY THE PROJECT
- ENGINEER OR LANDSCAPE ARCHITECT.

 12. EACH TREE AND SHRUB SHALL BE SECURELY LABELED WITH A WATERPROOF TAG MOICEATING THE BOTANICAL NAME, COMMON NAME, AND SIZE FOR DELIVERY TO SITE.

 13. ALL BARK MULCH SHALL MATCH GRADE OF ADJACENT CURB, WALK OR EDGE OF

ALL PLANT MATERIAL SHALL BE PRUNED AND INJURIES REPAIRED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE REMOVAL OF DEAD OR INJURED TWISS TO COMPENSATE FOR ROOT LOSS FROM TRANSPLANTING. CUTS SHOULD BE FLUSH,

EXISTING LAWNS ARE TO BE INSPECTED TO DETERMINE VIABILITY. IF FOUND TO SUPPORT GOOD TURF DEVELOPMENT, RESTORE THEM TO UNIFORM, DENSE AND HEALTHY TURF, FREE FROM WEEDS, RESEMBLING NEW TURF AREAS. TOPSOIL (REFER TO TOPSOIL NOTES) WILL BE ADDED AS NEEDED TO LEVEL OUT AREAS AND FILL HOLES PRIOR TO SEEDING OR SODDING. THOSE EXISTING LAWNS FOUND TO BE IN POOR CONDITION WILL BE STRIPPED OF POOR LAWN AND WEEDS, REGRADED TO LEVEL OUT BUMPS AND DEPRESSIONS. SOIL IS TO BE LEVEL, POROUS, ORGANIC, AND CAPABLE OF SUPPORTING GOOD TURF GROWTH.

- THE CONTRACTOR AGREES TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE TIME OF TOTAL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. AT THAT TIME THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT FOR A FINAL INSPECTION. PLANT MATERIAL WITH 25% DIE BACK, AS DETERMINED BY THE OWNER'S REPRESENTATIVE SHALL BE REPLACED. THIS GUARANTEE INCLUDES THE FURNISHING OF NEW PLANTS, LABOR AND MATERIALS. THESE NEW PLANTS SHALL ALSO
- FURNISHING OF NEW PLANTS, LABOR AND MATERIALS. THESE NEW PLANTS SHALL ALSO BE GUARANTEED FOR THE PERIOD OF ONE (1) YEAR FROM THE DATE OF REPLACEMENT.

 2. ALL DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED AS REQUIRED IN ORDER TO MAINTAIN AN ATTRACTIVE LANDSCAPE AT ALL TIMES.

 3. OWNER/TENANT WILL INSPECT THE PLANTS AT THE END OF THE WARRANTY PERIOD. (ALL PLANTS ARE TO BE WARRANTED FOR A PERIOD OF ONE YEAR.) PLANTS THAT ARE DEAD OR NOT IN SATISFACTORY GROWTH SHALL BE REMOVED AND REPLACED DURING THE NEXT NORMAL PLANTING SEASON AT NO ADDITIONAL COST TO THE
- OWNER/TENANT.

 LANDSCAPE ON TRACTOR SHALL SUBMIT TYPEWRITTEN INSTRUCTIONS RECOMMENDING MAINTENANCE OF LANDSCAPE MATERIALS FOR ONE YEAR TO OWNER AND PROJECT LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE OF LANDSCAPE MATERIAL.

 LANDSCAPE CONTRACTOR SHALL NOTIFY PROJECT LANDSCAPE ARCHITECT FOR
- 5. LANDSCAPE CONTRACTOR SHALL NOTIFY PROJECT LANDSCAPE ARCHITECT FOR INSPECTION OF PLANT MATERIAL FOR OWNER'S ACCEPTANCE.

 8. ALL PLANT SURFACES SHALL RECEIVE EMULSION TYPE, FILM-FORMING ANTI-DESICCANT AGENT DESIGNED TO PERMIT TRANSPIRATION, BUT RETARD EXCESSIVE LOSS OF MOISTURE FROM PLANTS. ANTI-DESICCANT TO BE DELIVERED IN MANUFACTURER'S FULLY IDENTIFIED CONTAINERS AND MIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

MAINTENANCE

ALL LANDSCAPE AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LOCAL MUNICIPAL AGENCIES STANDARDS AND REQUIREMENTS, IN A HEALTHY GROWING CONDITION, NEAT AND ORDERLY IN APPEARANCE AND FREE OF REFUS AND DEBRIS.

 LANDSCAPE CONTRACTOR SHALL SUBMIT TYPEWRITTEN INSTRUCTIONS RECOMMENDING MAINTENANCE OF LANDSCAPE MATERIALS FOR ONE YEAR TO DWNER AND PROJECT LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE OF LANDSCAPE MATERIALS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING BOTH THE TOPSOIL AND EXISTING SOIL TESTED FOR PROPOSED PLANT MATERIAL LOCATIONS. TOPSOIL SHALL BE TESTED BY AN INDEPENDENT SOIL TESTING AGENCY. THE CONTRACTOR SHALL FURNISH ONE (1) COPY OF THE SOIL ANALYSIS AND RECOMMENDED AMENDMENTS PREPARED (TO MEET THE DESIRED PH, NUTRITIONAL AND ORGANIC LEVELS DETERMINED TO BE ADEQUATE FOR THE AREA) BY THE COUNTY EXTENSION AGENT, TO THE LANDSCAPE ARCHITECT PRIOR TO APPLICATION OF ANY AMENDMENTS OR FERTILIZER.

- 1. HERBICIDES USED MUST COMPLY WITH ALL APPLICABLE STATE AND FEDERAL LAWS AND BE REGISTERED WITH THE US ENVIRONMENTAL PROTECTION AGENCY. DO NOT APPLY HERBICIDE WHEN WEATHER CONDITIONS ARE UNFAVORABLE, SUCH AS DURING DROUGHT
- ON HIGH WINUS.

 2. PRE-EMERGENCE APPLICATION OF "TREFLAN 5% GRANULES" OR EQUIVALENT APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND INCORPORATED INTO SOIL AS SPECIFIED.
- SPECIFIED.

 3. POST-EMERGENT APPLICATION OF "ROUNDUP" OR EQUIVALENT, APPLIED AS SPECIFIED BY MANUFACTURER. SPRAY WITH EXTREME CAUTION TO AVOID CONTACT WITH LANDSCAPE PLANTINGS.

- REMOVE STONES BIGGER THAN 1-1/2 INCHES IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH AND OTHER EXTRANEOUS MATTER.
- RUBBISH AND OTHER EXTRANEOUS MATTER.

 2. THE LANDSCAPE CONTRACTOR SHALL PLACE A 4" COMPACTED LAYER OF TOPSOIL OVER
 ALL AREAS TO BE ESTABLISHED IN TURF. THE TOPSOIL LAYER SHALL BRING ALL TURF
 AREAS TO FINISH GRADE PROVIDING A SMOOTH SURFACE FREE WITH POSITIVE DRAINAGE
 AND FREE OF DEPRESSIONS.

 3. ALL AREAS SPECIFIED AS "SOO" SHALL BE SODDED PER DIRECTION OF THE PROJECT
 LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL YERELY QUANTILES IN BIELD

- 3. ALL AREAS SPECIFIED AS "SOD" SHALL BE SODDED PER DIRECTION OF THE PROJECT LANDSCAPE ACONTRACTOR SHALL VERIFY QUANTITIES IN FIELD PRIOR TO INSTALLATION. TIME DELIVERY OF SOD FOR INSTALLATION WITHIN 24 HOURS OF STRIPPING. SOD SHALL BE COMPOSED OF SOX KENTUCKY BLUEGRASS, 20% RYEGRASS, & 20% FESCUE FREE FROM INSECTS, DISEASE, WEEDS AND OTHER GRASSES, CUT IN UNIFORM STRIPS CONSISTING OF 1 SQ. YD. PER STRIP.

 FINE GRADE LAWN AREAS TO SWOOTH EVEN SUFFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL RAKE, AND DRAG LAWN AREAS, REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO MEET FINISH GRADES AND CREATE POSTITIVE DRAINAGE AWAY FROM BUILDINGS. MOISTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE MOISTURE TO DRY BEFORE PLANTING.

 5. LAY SOD TO FORM A SOULD MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS; DO NOT OVERLEAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK FROM BOARDS TO AVOID DAMAGE TO SUBGRADE OR SOD. TAMP OR ROLL LIGHTLY TO ENSURE CONTACT WITH SUBGRADE. WORK SIFTED SOIL INTO MINOR CRACKS BETWEEN PIECES OF SOD. REMOVE EXCESS TO AVOID SMOTHERING OF ADJACENT GRASS. ANCHOR SOD ON SLOPES OF 3:1 AND GREATER WITH WOOD PEGS TO PREVENT SLIPPAGE.

 8. WATER SOD THOROUGHLY WITH FINE SPRAY IMMEDIATELY AFTER PLANTING. AFTER TWO WEEKS FOLLOWING INSTALLATION, APPLY FERTILIZER AT THE MANUFACTURER'S
- WEEKS FOLIOWING INSTALLATION, APPLY FERTILIZER AT THE MANUFACTURER'S RECOMMENDED RATE FOR NEWLY ESTABLISHED LAWNS. MAINTAIN TURF DURING WARRANTY PERIOD BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMINING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH SOODED SURFACE, FREE OF ERODED OR BARE AREAS, FREE OF WEEDS AND ACCEPTABLE BY OWNER.
- WEEDS AND ACCEPTABLE BY OWNER.

 7. LAY SOD WITHIN 24 HOURS OF STRIPPING, DO NOT LAY DORMANT SOD IF GROUND IS FROZEN. LAY SOD TO FORM A SOUID MASS WITH TIGHTLY FITTED JOINTS, DO NOT

MAINTENANCE

1. MAINTAIN TURF DURING THE FIRST MONTH AFTER INSTALLATION OR UNTIL OWNER . MAIN IAIN JUKE DURING THE FIRST MONTH AFTER INSTALLATION OR UNTIL OWNER ACCEPTS LANDSCAPE INSTALLATION. MAINTENANCE SHALL INCLUDE, BUT NOT LIMITED TO WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH SODDED SUFFACE, FREE OF ERODED OR BARE AREAS, FREE OF WEEDS AND ACCEPTABLE BY OWNER.

- 1. PROVIDE POSITIVE DRAINAGE FOR ALL LANDSCAPE AREAS.
 2. THE FINAL APPROVED LANDSCAPE PLAN MUST BE AVAILABLE FOR ON SITE INSPECTION

- 2. THE FINAL APPROVED LANDSCAPE PLAN MUST BE AVAILABLE FOR ON SITE INSPECTION AT ALL TIMES.

 3. PREVENT DAMAGE OF LITERING ONTO ADJACENT PROPERTY OR PUBLIC STREETS, SIDEWALKS, OR OTHER PUBLIC THOROUGHFARES WITH DIRT, SEDIMENT, WATER, PLANT MATERIAL OR OTHER MISCELLANEOUS DEBRIS WHICH CONSTITUTES A PUBLIC NUISANCE OR HAZARO. ALL SUCH DEBRIS SHALL BE PROPERLY REMOVED.

 4. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS ON SITE THROUGHOUT THE CONSTRUCTION.

 5. LANDSCAPE CONTRACTOR SHALL PROVIDE TREES, SHRUBS, AND PLANTS OF QUANTITY, SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK. ALL PLANTS SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI 260.0 "AMERICAN STANDARD FOR NUIRSERY STOCK". PROVIDE HEALTHY, MIGOROUS STOCK, GROWN IN A RECOGNIZED NUIRSERY STOCK." PROVIDE HEALTHY, MIGOROUS STOCK, GROWN IN A RECOGNIZED NUIRSERY STOCK." PROVIDE HEALTHY, MIGOROUS STOCK, GROWN IN A RECOGNIZED NUIRSERY IN ACCORDANCE WITH GOOD HORTICULTURAL. PRACTICES, FREE OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT. PLACE ALL PLANTS IN SHADED AREA, PROTECTED FROM WEATHER, MECHANICAL DAMAGE AND DEHVORATION PRIOR TO PLANTING, PLANT MATERIALS DELIVERED TO SITE AND NOT PLANTED WITHIN 24 HOURS OF DELIVERY SHALL BE "HEELED" AND WATERED.
- OF DELIVERY SHALL BE "HEELED" AND WATERED.

 QUANTITIES LISTED IN THE PLANT LIST SCHEDULE ARE FOR ESTIMATES ONLY. TREES, SHRUBS, AND GROUND COVER OF CONTRACT QUANTITIES SHALL BE THE NUMBER OF ITEMS SHOWN ON THE DRAWINGS.
- IEMS SHOWN ON THE DRAWINGS. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN
- 7. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHOWLD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. 3. ALL SITE WORK, INCLUDING PLANT LOCATIONS, SHALL BE STAKED BY THE LANDSCAPE CONTRACTOR AND SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY WALKS, WALLS OR EDGING SHALL BE INSTALLED IN A MANNER CONSISTENT WITH THE PLANS AS SHOWN, AND SHALL BE INSTALLED FREE OF KINKS, DENDISCO. ABBILLY THE PLANS AS SHOWN, AND SHALL BE INSTALLED FREE OF KINKS, BENDS OR ABRUPT CURVES.

 9. LANDSCAPE CONTRACTOR TO SUPPLY BID TO LUTJEN, INC. FOR REVIEW. BID SHALL
- MAUSCAPE CONTRACTOR tO SUPPLY BID TO LOTAR, INC. FOR REVIEW. BID SHALL INCLIDE UNIT COSTS FOR ALL MATERIALS.

 10. LANDSCAPE CONTRACTOR TO PROVIDE COST ESTIMATES FOR IRRIGATION SYSTEM FOR ALL PLANT MATERIAL INDICATED ON PLANS. IF IRRIGATION SYSTEM IS TO BE INSTALLED, LANDSCAPE CONTRACTOR SHALL SUBMIT A SET OF IRRIGATION PLANS TO LUTJEN, INC. FOR REVIEW PRIOR TO INISTALLATION.

- IRRIGATION CONTRACTOR TO DESIGN AND INSTALL IRRIGATION SYSTEM AND SHALL INCLUDE ALL REQUIRED COMPONEN'S INCLUDING, BUT NOT LIMITED TO, RAIN SHUT OFF SENSOR, CONTROLLER, TAPS, BACKFLOW PREVENTERS, ALL APPROVALS, AND ALL FEES
- SENSOR, CONTROLLER, TAPS, BACKFLOW PREVENIERS, ALL APPROVALS, AND ALL FEED REQUIRED BY CITY.

 I. IRRIGATION CONTRACTOR SHALL SUBMIT A COPY OF PLAN TO PROJECT ENGINEER OR PROJECT LANDSCAPE ARCHITECT OR REVIEW PRIOR TO INSTALLATION OF SYSTEM.

 I. IRRIGATION SYSTEM SHALL BE TESTED AND APPROVED BY PROJECT ENGINEER OR LANDSCAPE ARCHITECT PRIOR TO BACK-FILLING TRENCHES. IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL PRIOR TO THE INSTALLATION OF ANY PLANT MATERIALS.

 I. ALL PLANTING BEDS, LANDSCAPE ISLANDS, AND AREAS OF SEED AND SOD SHALL BE WATERED BY THE IRRIGATION SYSTEM.

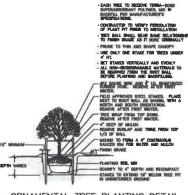
 GENERAL CONTRACTOR TO SUPPLY ALL POWER REQUIRED TO OPERATE IRRIGATION SYSTEM.
- SYSTEM.

 IRRIGATION CONDUIT IS INDICATED ON PLAN. THE CONDUIT IS TO BE INSTALLED BY THE GENERAL CONTRACTOR. IRRIGATION CONTRACTOR SHALL NOTIFY PROJECT ENGINEER OR PROJECT LANDSCAPE ARCHITECT OF ANY CHANGES TO IRRIGATION CONDUIT LOCATIONS
- 7. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WATER
- APPLICATION RATES AND TIMER CYCLING. THE IRRIGATION CONTRACTOR WILL INSTRUCT THE OWNER ON THE OPERATION AND PROGRAMMING OF THE CONTROLLER.

 ALL ZONES AND MAIN LINES WILL BE PRESSURE TESTED AT THE TIME OF INSTALLATION AND AGAIN PRIOR TO BUILDING TURNOVER. RESULTS SHALL BE SUBMITTED IN WRITING TO PROJECT ENGINEER OR LANDSCAPE ARCHITECT AND OWNER OR OWNER'S
- REPRESENTATIVE.

 9. IRRIGATION SHALL NOT SPRAY ON BUILDING, SIDEWALKS, AND DRIVES.

 10. IRRIGATION CONTROLLER SHALL BE LOCATED IN BUILDING. COORDINATE LOCATION WITH OTHER WALL MOUNTED SERVICE PANELS PER OWNER'S APPROVAL.

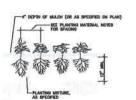


ORNAMENTAL TREE PLANTING DETAIL N.T.S.

EACH DIELE TO RECEIVE TERMA-SORE SLIPERARSOREMANT POLYMER, MIC IN BACKET CONTRACTOR TO VEHEY PERCOLATION OF PLANT HT PROOF TO SMITALLATION. PLANT SHALL BEAR SAME RELATIONING TO FROST STRAKE AN IT DOSE DISSINALLY. - PRIME GNAY DEAD OF BROWN BRANCHES - ALL NON-BODDERABLE MATERIALS TO BE REMOVED BEFORE PLANTING AND BAGGRESHIS.



N.T.S.



MET PLANTS WITH BOTTOM LEAVES AT GRADE AFTER MELCHING. ANNUAL. PERENNIAL. GROUND COVER PLANTING DETAIL

> - DO WOT DUT LEADER * DO NOT CUT LEADER
>
> * EACH TREE TO RECEIVE TENNA—SORE
> BUTTERABECTEANT POLYMER, ME IN BACKFELL
> PER MANUFACTUREN'S EPECIFICATIONS. CONTRACTOR TO VEREY PERCOLATION OF - TRUE SHALL BEAR SAME RELATIONSHIP TO FROSH BRASE AS IT BORE OSSENALLY - PRIME CHILT TO REMOVE DAMAGED OR BROKEN BRANCHES ALL HOSI-BIGGERRADARLE MATERIALS TO BE EDWINED FROM ROOT BALL BEFORE IN ANTEND AND TARREST LAND LINE ME LO AND THE HEAT TO MOST BALL AS SHOWN, WITH A MENT TO MOST BALL AS SHOWN, WITH A MENTH AND SELITH OFFICERS. - " DEPTH OF MALCH - REMOVE BLELAF AND TIME FROM TOP 1/3 OF BALL MOUND TO FORM A 4" CONTINUOUS SALKER RM FOR MATER AND MULCH FRESH GRADE ---STAKES TO EXTEND 16" BELOW THEE PAT

EVERGREEN TREE PLANTING DETAIL

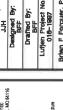
PLANTING SOS, MICTURE

- EACH TREE TO RECEIVE TERRA-ROSS SUPERABBOTHANT POLYMER, MIX IN SACREL PER MANUFACTURER'S SPECIFICATIONS. - CONTRACTOR TO VERIFY PERCOLATION OF PLANT PIT PRIOR TO INSTALLATION THEE BALL SHALL SEAR SAME SILATIONSHIP TO FINISH SHADE AS IT PRIME TO THEN AND SHAPE CAMEPY.
PRIME DAMAGED OR BEAD WOOD AFTER
PLANTED, MEYER LEAVE "V" CHORNES
OR DOLLE LEADING. - USE ONLY ONE STANK FOR THESE LANDON 4" HT. - NET STANKES VERTICALLY AND EVENLY ELEVANT MILE IN PROPERTY FELD APPROVED STEEL STATES. PLACE MOST TO AGOST BALL AS SHOWN, WITH A MOSTER AND SOUTH ORIGINATION. - MINAP THANK OF THEE WITH THEATED COUPE THEE MINAP SECURED WITH THINK, HEMOVE AFTER PART MINITER. MEMORE BERLAP AND THREE FROM MOUNT TO FORM A 4" CONTRAJOUS

DECIDUOUS TREE PLANTING DETAIL







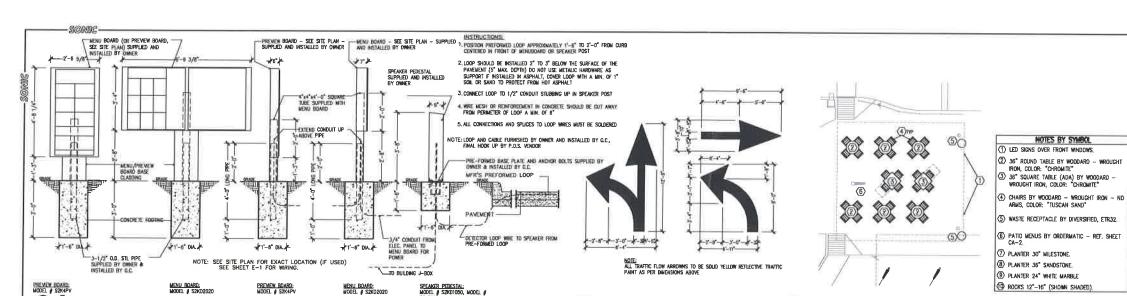


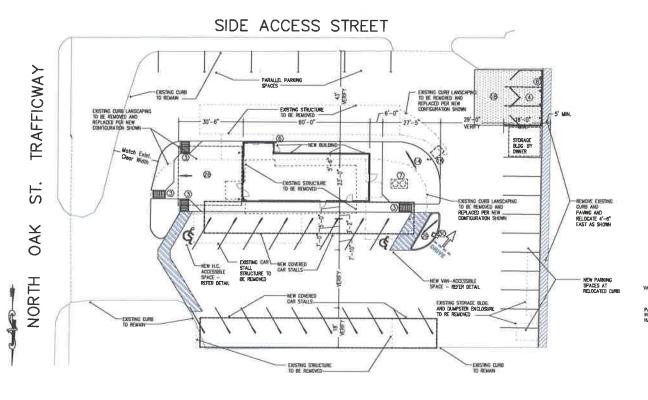
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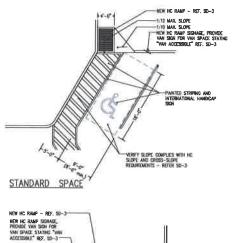
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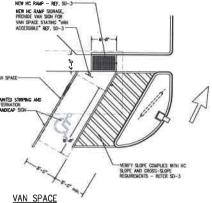
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03 TRAFFIC FLOW ARROWS **02** PATIO FIXTURE PLAN & SCHEDULE



05 Accessible Parking Space

NOTE:
HETEL TO GEDTECHNICAL REPORT AND CIVIL DRAWNES FOR ALL DESON OF
PARKERT, JOHNS (EDPANSION, CONTROL, AND CONSTRUCTION), GRADING
AND UTLETY MY ORANION AND RESPONSES OF A CAVIL EXEMPLER AND GRADING
OWNER LIGHTS NOT TO RETAIN SERVICES OF A CAVIL EXEMPLER AND GRAD

GENERAL NOTES:

- ALL DIMENSIONS AT CURBS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY, EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL AND PRACTICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT DESTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWNGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SZESS AND CIRCUITING.
- LOCATIONS OF PYLON / MONUMENT SIGNS AND ENTER / EXIT SIGNS ARE NOT EXACT. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS WITH OWNER / CONSTRUCTION MANAGER.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS, TOP SOIL TO BE ADDED TO THE LEVEL OF THE WALKS OR CURBS.
- . REFER TO CIVIL DRAWINGS FOR DETAILS ON ALL CONCRETE WALKS, CURBS, CUTTERS & PAVING, INCLIDING CONTROL AND EXPANSION JOINTS.

SITE PLAN KEYNOTES ITEM NOTE ① TRAFFIC FLOW ARROW (TYPICAL), REF: SD1.03 ② 4" PAINTED STRIPES (TYPICAL), REF: SPECIFICATIONS, SECTION 02500 (3) CURB RAMP (TYPICAL), REF: SD3 TRASH ENCLOSURE, REF: 502 (5) RAILING, REF: SD2 BOLLARD, REF: SD2 GREASE TRAP, REF: P2.02. REFER TO CIVIL DRAWINGS FOR VERIFICATION OF EXACT LOCATION. DUMPSTER BOLLARD, REF: SD2 NOT USED ₽ 444444 (C) NOT USED (1) NOT USED (2) NOT USED NOT USED ORDER BOARD AND DETECTOR LOOP, REF. ELEC. MENU / CNPY. POST (TYPICAL), REF: CA1 (B) NOT USED CONCRETE OR ASPHALT PAVING, REF. CIVIL DRAWINGS OR OWNER (B) NOT USED (9 "CARHOP CROSSING" SIGNAGE, REF: SD2 PICK UP ORDER HERE" SIGNAGE, REF: SD2 NOT USED SONIC CORP. 300 JOHNY BENCH DR. 90 OCHANA GITY, OK 73104 PETEZS. 405–225–5000 FAX. 405–225–5000 FAX. 405–225–5000 FAX. 405–225–5001 FAX. 405–225–5001 FAX. 405–425–4001 FAX. 405–4001 FAX. 405–40 POLE MOUNTED FLOOD LIGHTS - RE ELEC. NOT USED MOT USED NOT USED REF. SD1.02 FOR PATIO LAYOUT AND FURNISHINGS NOT USED. PREVIEW BOARD REF: SD1.04 COMPANY OF THE PROPERTY OF T (5) TRASH CAN

SIGN SCHEDULE							
ITEM	REFERENCE	SIGN TYPE					
⊗ .		PYLON SIGN					
(8)	SD2.09	ENTER SIGN					
0	SD2.09	EXIT SIGN					
0	SD2.11	HANDICAPPED PARKING SIGN					

LEGEND:

	PROPERTY LINE
	EASEMENT / BUFFERS
	BUILDING SETBACK LINE
(A)	SITE PLAN NOTE

0 EMPLOYEE PARKING STALL

♦ SIGN (SEE SCHEDULE)

SHEET SD1 2122-SD1

SITE PSITE

DRIVE-

SONIC

A. Murray ed Architect DALLAS, TX 752 24.556.3101 (fax)

Peglete P.O. BOX 59228 214.558.3100

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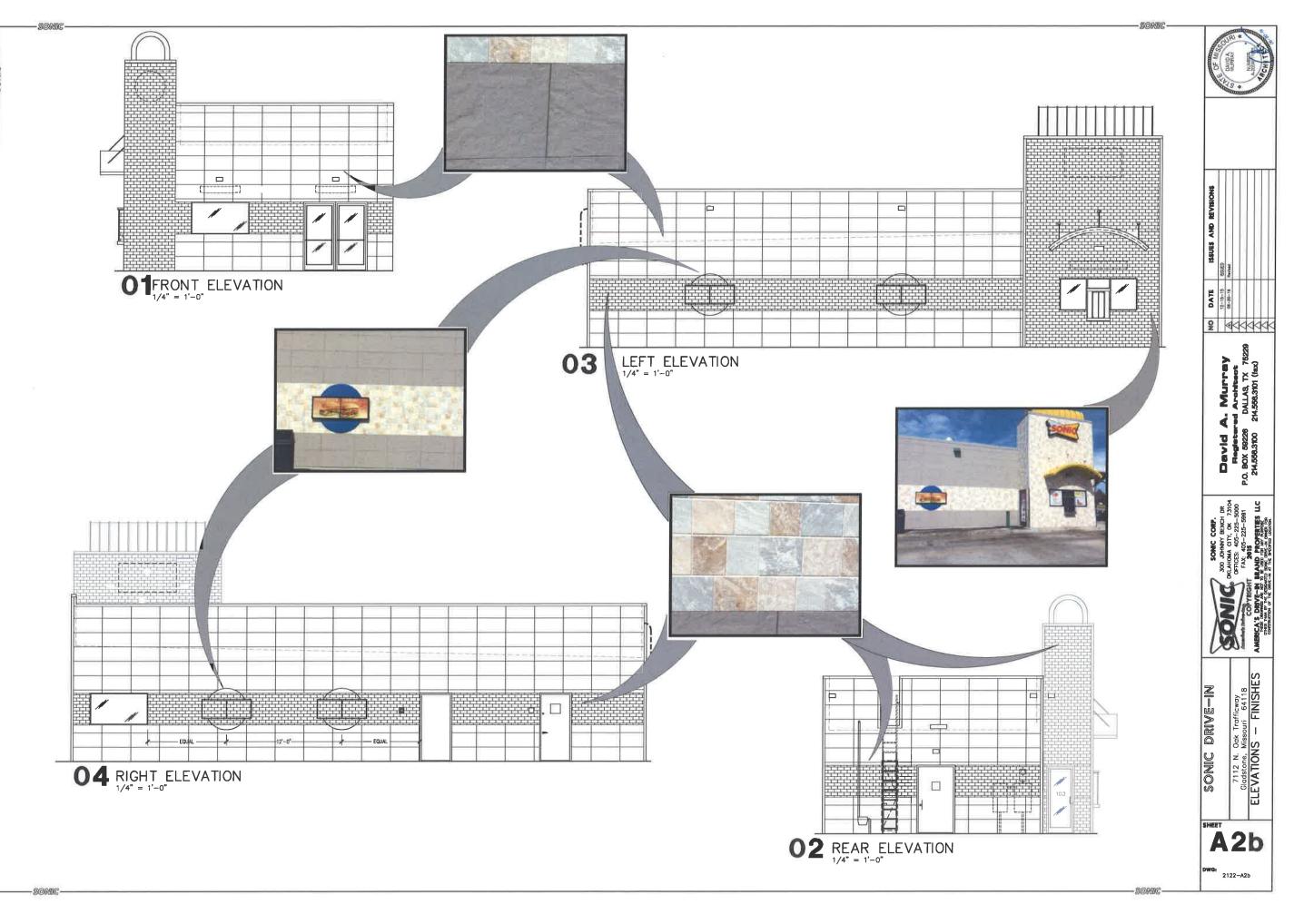
04 DRIVE THRU MENU BOARD PROFILE

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Plan View Scale - 1" = 10'

Designar JAW Date 5/6/2016 Scale VARIES Drawing No.



-80NE

LETTER OF TRANSMITTAL



CITY OF GLADSTONE

Community Development Department P.O. Box 10719 Gladstone, Missouri 64188-0719 Tel. (816) 436-2200 Fax (816) 436-2228



To: CITY COUNCIL FROM: COMMUNITY DEVELOPMENT DATE: JULY 20, 2016 BP FILE No.: 16.00570 RE: 7112 N. OAK TRAFFICWAY – SONIC DEMOLITION/NEW CONSTRUCTION	
WE ARE SENDING YOU: Attached Separate	
Colored Elevation Other	
BUILDING PERMIT FOR:	
New Construction Addition Remodel Tenant Finish	
TYPE OF CONSTRUCTION:	
New Structure	
Exterior Only Other	
EXTERIOR MATERIALS:	
☐ EFIS ☐ Stucco ☐ Brick ☒ Metal	
☐ Wood ☐ Glass ☐ Stone ☐ Other – Stone & Slate Tile	□ N/.
THESE ARE TRANSMITTED as checked below:	
For Approval as Submitted	
For Approval as Submitted with Additional Comments per Staff Report	
REMARKS: Gladstone Sonic is proposing to demolish the existing store on N. Oak Traff onstruct the new prototype store. This store would be similar to the store built about two (2) y	icway ar

N. Oak Trafficway and Hwy. 152.

The owner is proposing to remove the existing pole sign and construct a new compliant monument sign. There will be no changes to the ingress/egress to the site. The plans indicate that the trash enclosure and out building being located at the southwest corner of the property. The owner will be relocating these two (2) structures to the northwest corner, which is where they are located presently.

The structure will consist of stone and slate tile with metal awnings. There will be two (2) drive-in canopies located on the north side of the building. The colors of the materials used and the proposed landscaping meet with our site design requirements.

Attached please find the staff report, which the owner is agreeable too. Also find attached the elevation showing the color scheme, site plan, landscape plan, floor plan and photometric plan. Based on the photometric plan the lighting meets with our requirements for lighting onto adjacent properties.

Copy to File

Signed:

Alan D. Napoli, C.B.O.
Interim Director of Community Development

Signed: Scott C. Wingerson City Manager

BUILDING PERMIT STAFF REPORT

To: City Council
From: Community Development

BP File No.: 16-00570

Date: August 1, 2016

GENERAL INFORMATION

Business/Property Name: Sonic
Applicant: Gary Simon
Status of Applicant: Owner
Owner: Gary Simon
Requested Action: Approval of Building Permit
Purpose: Demolish Existing Store and Rebuild New Store
Location: 7112 N. Oak Trafficway
Size: 1,425 sq. ft.

ZONING

Existing Land Use: CP-2

Surrounding Land N: C-2 and CP-3
Use and Zoning: E: CP-2
W: CP-2
S: CP-2
Comprehensive Plan: Commercial
Zoning History: N/A

Applicable Regulations: 2015 IBC, 2015 IEBC, 2014 NEC, 2015 IFC, 2015 IECC, 2015 IFGC, 2015 IMC, 2015 IPC, 2015 ISPSC and ICC A117.1-2009

ADDITIONAL COMMENTS

General Comments:

- 1. Need fire suppression plans for hood systems.
- 2. No Civil plans submitted.

Cover Page:

1. Code Data/Applicable Codes – Accessibility: This shall denote "ICC A117.1-2009"

Sheet SD1:

1. Site Key Note #7 – Indicates to refer to Civil Drawings for location of grease trap; no civil drawing supplied to refer to.

Sheet SD2:

- 1. Dumpster enclosure shall be constructed with materials and color consistent with the primary building.
- 2. Out building shall be constructed with materials and color consistent with the primary building.

Sheet SD3:

1. Toilet Clearance – Vertical grab bar required.

Sheet A2A:

1. All mechanical equipment on the roof shall be screened by a parapet wall a minimum of twelve (12) inches above the tallest piece of mechanical equipment.

Sheet E2:

- 1. All exterior lights shall be LED
- 2. Additional emergency lighting shall be installed in the following locations:
 - a. Women 110,
 - b. Men 111,
 - c. Kitchen 104 and
 - d. Storage 105.

Sheet E3:

1. Smoke detectors shall be installed in RTU1 and RTU2.

Sheet M1:

1. Smoke detectors shall be installed in RTU1 and RTU2.

Sheet P1:

1. Plan 01 "Drain Waste and Vent Plan" – Indicates to refer to Civil Drawings for continuation of sewer service line; no civil drawings supplied to refer to.

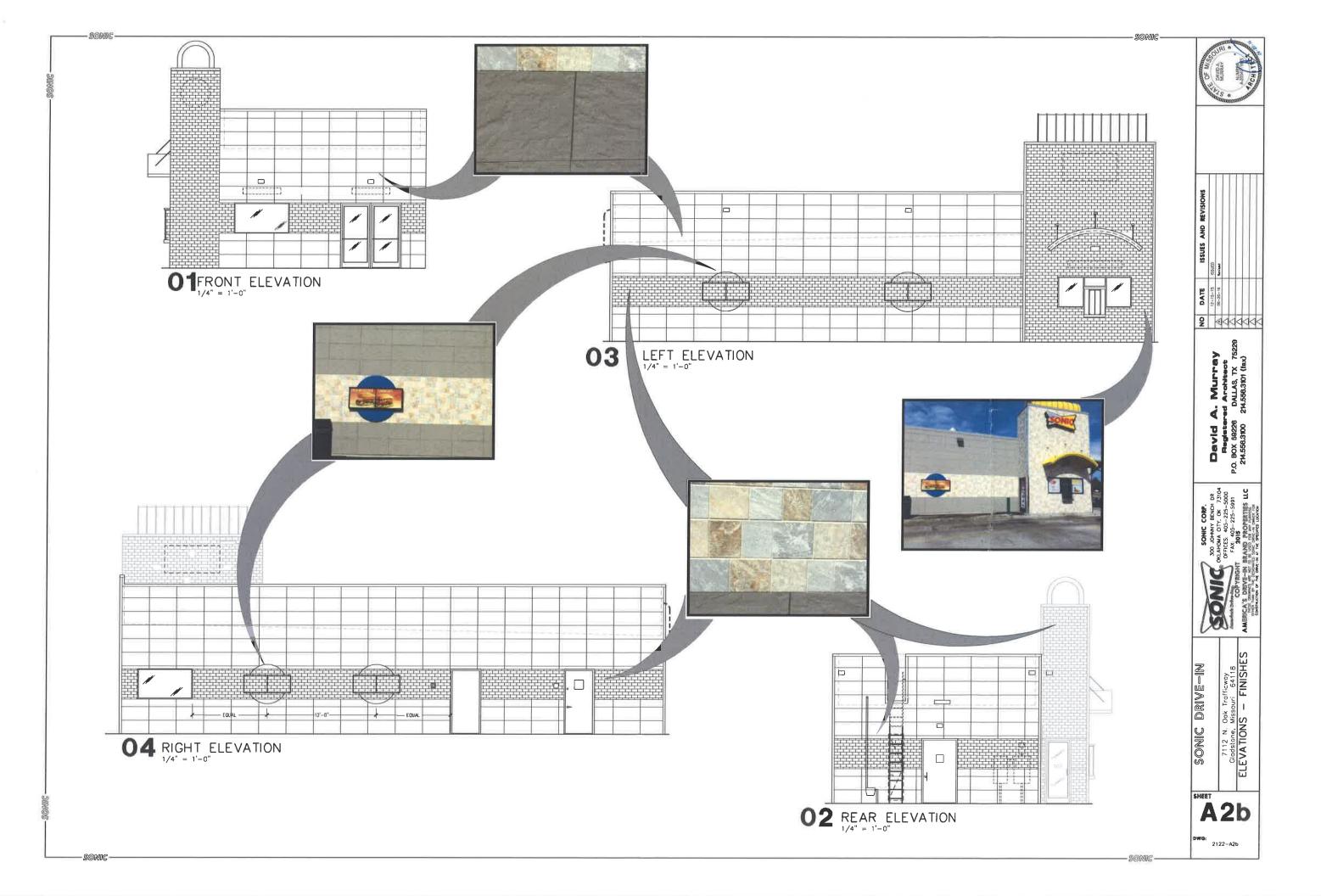
Sheet P1A:

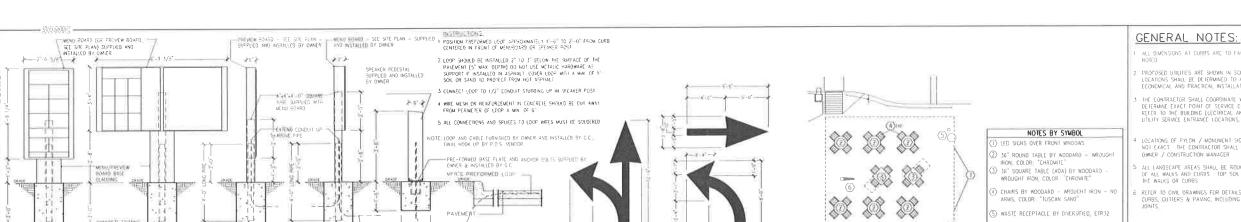
1. Plumbing Key Note #30 – Indicates to refer to Civil Drawings for continuation for 1-1/4" CW Entrance; no civil drawings supplied to refer to.

Sheet P2:

- 1. 02 Grease Trap Detail / Engineering Data Hydraulics shall be based on the 2015 International Plumbing Code not the Uniform Plumbing Code.
- 2. 02 Grease Trap Detail Indicates to refer to Civil Drawings for exact size; no civil drawing supplied to refer to.

All Parties are agreeable to the aforementioned comments.





NOTE, ALL TRAFFIC FLOW ARROWNS TO BE SOLID YELLOW REFLECTIVE TRAFFIC PAINT AS PER DIMENSIONS ABOVE

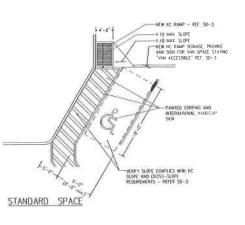
03 TRAFFIC FLOW ARROWS

SIDE ACCESS STREET TRAFFICWAY 0 S. E C EEMONE EXISTING CURB AND PAYING AND RELOCATE 4'-6' EAST AS SHOWN OAK SPACES AT RELOCATED CURB

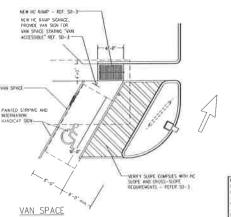
TO BUILDING J-BOX

WENU BOARD WOOLL € S2KD2020

MODEL # SZKDIOSO, MODEL # SZKDIOZS, MODEL # SZKDIOZS, MODEL # SZKDIOZS, OR MODEL # SZKDIOZO, OR MODEL # SZKDIOZO - COORDINATE WITH POS VENDOR 1D SELECT APPROPRIATE MODEL



02 PATIO FIXTURE PLAN & SCHEDULE



05 Accessible Parking Space

- ALL DIMENSIONS AT CURBS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO BETERMINE CRACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SZES AND CIRCUITING
- LOCATIONS OF PYLON / MONUMENT SIGNS AND ENTER / EXIT SIGNS ARE NOT EXACT. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS WITH OWNER / CONSTRUCTION MANAGER.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO δ^* BELOW TOP OF ALL WALKS AND CURBS. TOP SOIL TO BE ADDED TO THE LEVEL OF THE WALKS OR CURBS.

PLANTER 30" MILESTONE

8 PLANTER 36" SANDSTONE

(9) PLANTER 24" WHITE MARBLE (I) ROCKS 12"-16" (SHOWN SHADED) REFER TO CIVIL DRAWNGS FOR DETAILS ON ALL CONCRETE WALKS, CURBS, CUTTERS & PAYING, INCLUDING CONTROL AND EXPANSION JOINTS.

ITEM	NOTÉ
(1)	TRAFFIC FLOW ARROW (TYPICAL), REF SOL 03
(2)	4 PAINTED STRIPES (TYPICAL) REF SPECIFICATIONS, SECTION 0250 SHEET SP1
(3)	CURB RAMP (TYPICAL), REF SD3
(4)	TRASH ENCLOSURE, REF. SD2
(5)	RAILING, REF SD2
(E)	BOLLARD_REF SD2
7	CREASE TRAP, REF. PZ OZ REFER TO CIVIL DRAWINGS FOR VERIFICATION OF EXACT LOCATION
(8)	DUMPSTER BOLLARO, REF. SD2
9	NOT USED
(1)	NOT USED
(1)	NOT USED
0	NOT USED
(3	NOT USED
(4)	ORDER BOARD AND DETECTOR LOOP, REF ELEC
69	MENU / CNPY POST (TYPICAL), REF CAT
(B)	NOT USED
0	CONCRETE OR ASPHALT PAVING, REF CIVIL DRAWINGS OR OWNER
(3)	NOT USED
(3)	"CARHOP CROSSING" SIGNAGE, REF 502
60	"PICK UP ORDER HERE" SIGNACE, REF SD2
2)	NOT USED
Ø	POLE MOUNTED FLOOD LIGHTS - RE CLEC
(E)	NOT USED
24	NOT USED
63	NOT USED
20	REF SDI 02 FOR PATIO LAYOUT AND FURNISHINGS
2	
69	NOT USED
69	PREVIEW BOARD REF: SD1.04
30	TRASH CAN

SIGN SCHEDULE				
ITEM	REFERENCE	SIGN TYPE		
(A)		PYLON SIGN		
(₽)	SD2 09	ENTER SIGN		
0	SD2 09	EXIT SIGN		
(0)	SD2_11	HANDICAPPED PARKING SICN		

LEGEND:

- 11		
d		PROPERTY LINE
j		EASEMENT / BUFFERS
		BUILDING SETBACK LINE
	(A)	SITE PLAN NOTE
	0	CUSTOMER PARKING STALL
	0	EMPLOYEE PARKING STALL
	À	SIGN (SEE SCHEDULE)

DRIVE-IN SONIC

SONIC Emotorib Entraining

2 400000

A. Murray
sered Architect
Be DALLAS, TX 75229
224.556.3101 (fax)

David A RegistersP.O. BOX 59226
214.556.3100

SD1

2122-SDI

SOMME-

NORTH SPACE - REFER DETAIL

1 -5" DIA

NOTE SEE SITE PLAN FOR EXACT LOCATION (IF USED) SEE SHEET E-I FOR WIRING

WODEL / SZK4PV

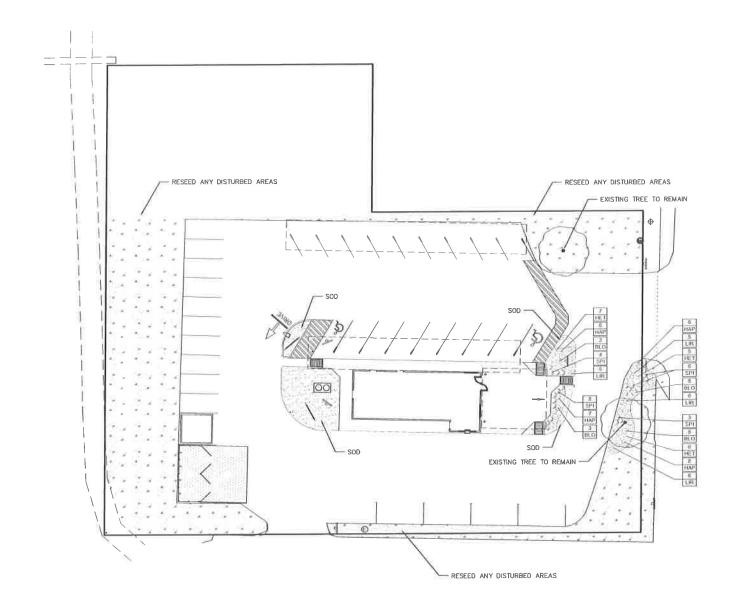
MENU BOARD MODEL ∦ S2KD2020

04 DRIVE THRU MENU BOARD PROFILE

- 1 -6 DA

- SAMMAGGES -

TO CCOTECHNICAL REPORT AND CIVIL DRAWNOS FOR ALL DESIGNERS. JOINTS (ERPANSON, CONTROL, AND CONSTRUCTION), GRADNINITY PROPRIATION AND REQUIRED SUB-CRADE PREPARATION FOR CLICIES NOT TO RELIAN SERVICES OF A CIVIL ENGINEER AND OF ITECHNICAL SOLIS) REPORT, CONTRACTOR AND OWNER SHALL AS



PLANT SCHEDULE

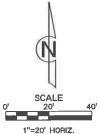
LANT SOFEBULE					
SHRUBS	CODE	QIY	DOTANICAL NAME / COMMON NAME	CONF	SIZE
9	SPI	21	Spiraea japonica: Yan / Yan Double Play Gold Spiroa	Cont	18° SF
30%	HET	18	This accidentalis Hotz Midget / Hetz Midget Artwinting	Cont	ry m
GRASSES	CODE	QIY	BOTANICAL NAME / COMMON NAME	CONT	SIZE
	BLO	22	Bouteloua graciles Bloride Ambition 7 Bloride Ambition Blue Grama	l gal	
PERENNIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE
	HAP	27	Hemerocallis « Happy Returns / Happy Returns Daylily	l gal	
XS1:	LIR	23	Linope muscari Dig Blue / Big Dlue Lilyturf	l gal	
SOD/SEED	QTY	ROTANICAL NAME / COMMON NAME	CONT		
	9,739 st	Festuce arundinacea / Tall Fescue	Seed		
	049	Turf Sod / Drought tolerant fescue blend	Sod		

- NOTES:

 1. Quantities listed in the plant list schedule are for estimates only. Trees, shrubs, and ground cover of contract quantities shall be the number of items shown on the drawings.

 2. The Landscape Contractor is responsible for verifying all quantities shown on these plans before pricing the work. Any difference in quantities should be brought to the attention of the Landscape Architect for clasification.

 3. All planting beds shall be mulched and have a shovel cut edge.



(for 24"x36" sheet)

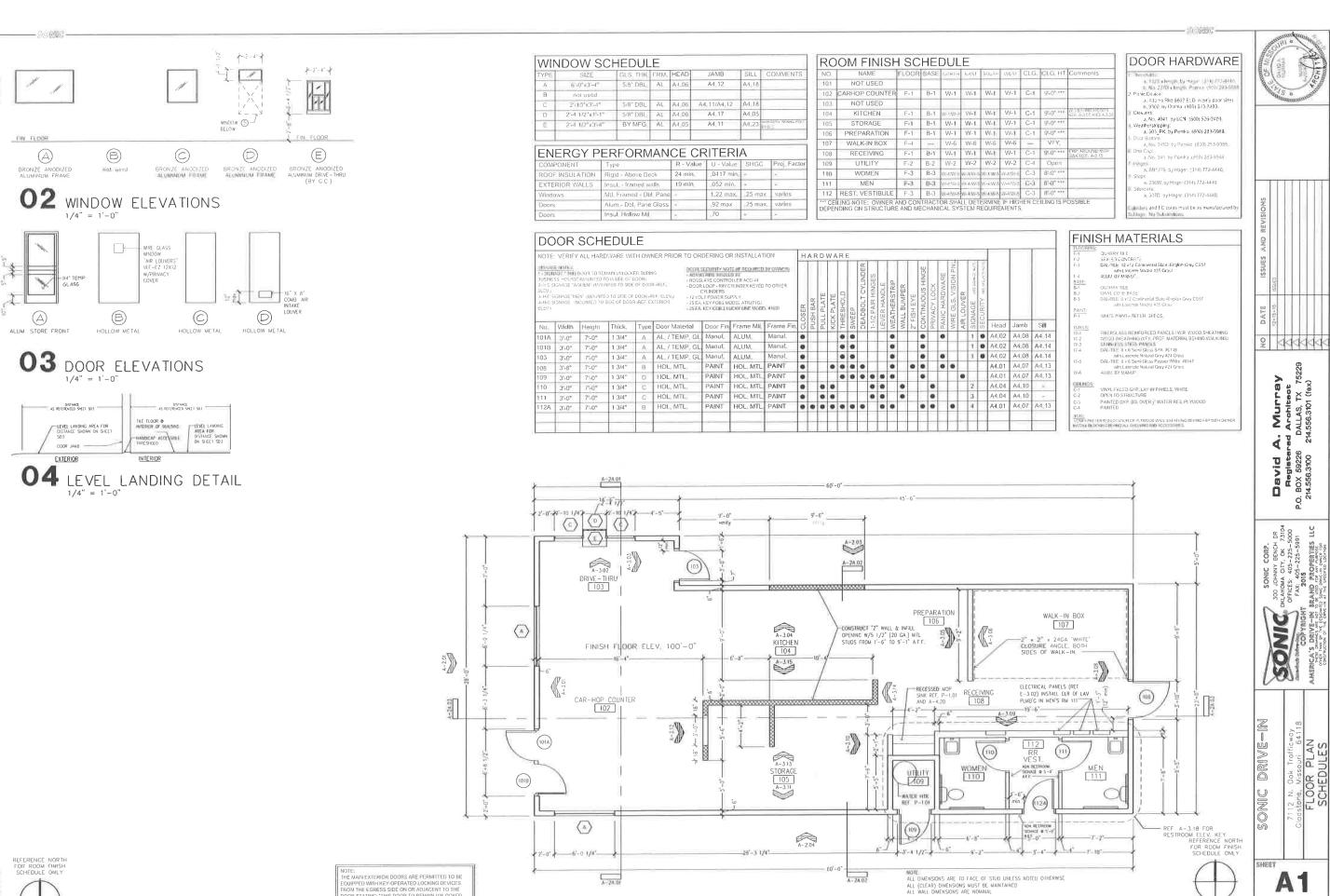
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LANDSCAPE

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engmeening

LUTJEN

SONIC
7112 N. OAK TRAFFICWAY
GLADSTONE, CLAY COUNTY, MISSOURI



REF FOR SC

REF. SITE PLAN

THE MAIN EXTERIOR DODORS ARE PERMITTED TO BE COUPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING: "THIS DOOR TO REMAIN UN-COKED WHEN BUILDING IS OCCUPIED," THE SIGN SHALL BE LETTERS I NOTH HIGH ON A CONTRASTING BACKGROUND AND CONPLY WITH BUILDING CODE

01 FLOOR PLAN

-sonic-

PLAN NORTH DWG: 2122-A1



Plan View Scale - 1'' = 10'

ichedule Brodol	Liebel:			Catalog Number	Description		Wattege
	G	39	orter	COR20-040-PSSM-N18-50-E-XX-XX	CAROPY FESTIVISE MOUNTED AT 91-3" AFG	4000	40
Ŧ	J3	1	DPTEC	C0820-120-ALPM-N27-50-X-XX-XX	(2) 120W FIXTURE HEADS MOUNTED TO 25' POLE WITH 2' BASE	12000	120
Ÿ.,	J3	4	DPTEC	CU820-120-ALPH-NZ7-5U-X-XX-XX	(3) 120M EXTURE HEADS HOUNTED TO 25: POSE WITH 2: BASE	17000	240
П	L1	2	OFFIC	C0820-030-WPWH 813-50-K-KII-XX	MATTHACK MORRED 15-ft, Na.	3000	30
H	LEM	1	OPTEC	C0820-030-WPWM-N19-50-X-XX-XX	WALLFACK MOUNTED 17" 0" AFG	3000	30

Statistics						
D marriellum	Symba	d Avg	Has			
Perking and Drive	1 X	18.3 fc	11.7 fc	5.5 E	23.411	8.5:1
SITE ALL	+	3.3 fc.	16.6 fc	#10.3c	MUN	:1679