

AN ORDINANCE AND FINAL DEVELOPMENT PLAN RELATING TO ZONING ORDINANCE REGULATIONS AND THE ESTABLISHMENT OF USE DISTRICTS WITHIN THE CITY OF GLADSTONE, MISSOURI.

WHEREAS, pursuant to applicable City ordinances, an Application has been submitted to the Gladstone City Council to rezone Linden Lots 3-11, together with part of lots 1, 2 and 12, and all of Block 25, Linden, a subdivision in Gladstone, Clay County, Missouri.

WHEREAS, public hearings have been held after the publishing of the required notices.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF GLADSTONE, MISSOURI, AS FOLLOWS:

THAT, the aforesaid land be rezoned from C-1 (Local Business District), C-2 (General Business District) to MXD (Mixed-Use District).

SECTION 1. FINAL DEVELOPMENT PLAN APPROVAL.

The Final Development Plan for the above described property is hereby approved subject to the terms and conditions set forth herein:

1. All signage shall comply with approved City Standards and shall be consistent with existing Downtown Gladstone signage and Marriott Fair Field Inn and Suites Standards.
2. A compliant monument sign shall be used to serve the development. The monument sign requires a minimum of 240 square feet of area landscaping around the sign or per Marriott's acceptable franchise standards.
3. A fire protection system shall be installed and comply with the 2015 International Fire Code.
4. All manicured grass and landscaped areas shall be irrigated and maintained in perpetuity.
5. All fencing within the development boundaries shall be wrought iron style fencing.
6. All exterior lighting shall be energy efficient (LED) lighting and comply with city code.
7. All building mechanical equipment shall be screened from public view. Typical hotel individual room PTAC (air conditioning) units shall be acceptable.
8. Service and loading areas shall be screened from public view.
9. Development shall consist of best practice for sustainable design and follow the current energy and building codes.

10. To the extent any retaining walls are necessary on or near the property line or adjacent to the right-of-way; retaining wall details shall be submitted and approved by city staff prior to construction. All structural walls shall be reviewed via building permit process.
11. Disabled vehicles shall not be permitted on site.
12. Tractor trailers shall not be parked or stored overnight. Storage containers shall not be stored on site unless as part of a valid building permit.
13. Dumpsters and storage shall be enclosed (5 sides) and covered to adequately be screened from public view. Trash services shall be scheduled between 7:00 am – 10:00 pm.
14. Provide outdoor bike racks within development area to serve employees, visitors and the area community.
15. Water and sewer utilities must be designed and installed to city code.
16. A public art component will be incorporated into this project as approved by City Council.

INTRODUCED, READ, PASSED, AND ADOPTED BY THE COUNCIL OF THE CITY OF GLADSTONE, MISSOURI, THIS 29th DAY OF JULY, 2019.



Mayor Carol J. Suter

ATTEST:



Ruth Bocchino, City Clerk

1st Reading: July 29, 2019

2nd Reading: July, 29, 2019

File #2019-009



Request for Council Action

RES ☐ # City Clerk Only

BILL ☒ # 19-32

ORD # 4.483

Date: 7/23/2019

Department: Community Development

Meeting Date Requested: 7/29/2019

Public Hearing: Yes ☒ Date: 7/29/2019

Subject: Zoning & Site Plan Approval - Marriott Fairfield Inn Hotel

Background: The applicant is requesting a re-plat, zoning change and site plan revision for the purpose of constructing a brand new Marriott Fairfield Inn Hotel at 6901 North Oak Trafficway. This new hotel will stand 5 stories tall, be 67,140 square feet and have 109 air conditioned rooms. This proposed project will re-plat and rezone five (5) individual parcels into one parcel and one zoning. The current zoning of these five (5) parcels is a combination of C-1 Local Business District and C-2 General Business District. The desired zoning of this proposed project is Mixed-Use (MXD), which is a planned district and consistent with adjacent properties such as the Heights at Linden Square and the Northland Innovation Campus. MAG Partners, the Developer, is currently revising the plat and a draft will be available Monday, July 15th for Planning Commission review. MAG Partners, Scarlett Group, and Marriott Hotels have designed a hotel that incorporates low impact development practices, bicycle accommodations, best management practices (BMP) to reduce storm water and waste water, reduce light pollution, increase building water and energy efficiency and similar sustainable practices. There are not front, side and rear set back requirements in a Mixed-Use (MXD) zoning. The Hotel is open to the public and has both interior meeting space, lobby, and bar area all open to the public. Additionally, the hotel has an exterior seating area adjacent to the front door of the hotel. In regard to parking for this project, one parking space per room is typically required. This proposed project creates 83 on-site parking spaces with access to 62 public spaces on N. Locust as well as 89 public spaces on NE 69th St. The proposed zoning change to Mixed-Use (MDX), which is a planned district that provides more flexibility to project requirements, allows the Planning Commission and City Council the authority to reduce the amount of required parking spaces specific to this development. It is City Staff's recommendation to lower the amount of required parking spaces to accommodate this particular project given the fact that there is on-street public parking located on N Locust St., and NE 69th St. There is approximately 234 parking spaces available between the Hotel property, N. Locust St. and NE 69th St. within one (1) block. There has been a change to condition #12 stating that "Tractor Trailers shall not be parked or stored overnight. Storage containers shall not be stored on site unless as part of a valid building permit." The Developer has agreed to all recommended conditions.

Budget Discussion: Funds are budgeted in the amount of \$ from the Fund. Ongoing costs are estimated to be \$ annually. Previous years' funding was \$

Public/Board/Staff Input: There is overwhelming support for the Hotel in Downtown Gladstone from the Planning Commission; however, they do have parking concerns. MAg (Developer), Scarlett Hotel Group (Hotel Operators), and City Staff do believe there is adequate and sufficient on-site and off-site parking for the Hotel. Jack Wenenn (Karate Studio) and Tom Pryor (Pryor Appraisal) was present in the audience during the Planning Commission and spoke in favor of the Hotel project. The Planning Commission voted in favor of the project. Replat – in favor 12 – 0 opposed. Zoning Change – in favor 12 – 0 opposed. Site Plan Approval – in favor 12 – 0 opposed.

Provide Original Contracts, Leases, Agreements, etc. to: City Clerk and Vendor

Austin Greer	PC	SW
Assistant to the City Manager	City Attorney	City Manager



Community Development Department Staff Report

Date: July 15, 2019

File: #2019-009

Requested Action: Replat, Zoning Change and Site Plan Revision

Date of PC Consideration: July 15, 2019

Date of Council Consideration: July 29, 2019

Applicant: MAg Partners
11550 I Street

Owner: City of Gladstone
7010 N Holmes St
Gladstone, MO 64118

Architect/ Engineer: Base 4
2901 Clint Moor Road #114
Boca Raton, Florida 33496

Address of Property: 6901 N Oak Trafficway

Planning Information

- Current Zoning: Five individual parcels zoned commercial; Two parcels zoned C-1 Local Business District; Three parcels zoned C-2 General Business District
- Planned Land Use: Commercial/Mixed-Use
- Surrounding Uses: Commercial/Mixed-Use
- Applicable Regulations: Zoning and Subdivision Ordinance and Comprehensive Plan

Additional Information

- Public Utility Availability: Existing
- Ingress/Egress: Four individual locations - North Oak Trafficway; NE 69th Street; North Locust St; NE 70th St
- Traffic Impacts: No Public Safety comments.
- Parking Required: 109 spaces; 1 space per 1 room of the proposed hotel
- Parking Provided: 83 parking spaces created on hotel site; 62 parking spaces on N. Locust St., and 89 parking spaces on NE 69th St. There is approximately 234 parking spaces available within one (1) block of the proposed hotel site.
- Proposed On-Site Improvements: See site plans
- Proposed Landscaping: See site plans
- Proposed Signage: - Proposed monument sign permitted separately

Analysis

The applicant is requesting a re-plat, zoning change and site plan revision for the purpose of constructing a brand new Marriott Fairfield Inn Hotel at 6901 North Oak Trafficway. This new hotel will stand 5 stories tall, be 67,140 square feet and have 109 air conditioned rooms.

This proposed project will replat and rezone five (5) individual parcels into one parcel and one zoning. The current zoning of these five (5) parcels is a combination of C-1 Local Business District and C-2 General Business District. The desired zoning of this proposed project is Mixed-Use (MXD), which is a planned district and consistent with adjacent properties such as the Heights at Linden Square and the Northland Innovation Campus.

MAG Partners, the Developer, is currently revising the plat and a draft will be available Monday, July 15th for Planning Commission review.

MAG Partners, Scarlett Group, and Marriott Hotels have designed a hotel that incorporates low impact development practices, bicycle accommodations, best management practices (BMP) to reduce storm water and waste water, reduce light pollution, increase building water and energy efficiency and similar sustainable practices.

There are not front, side and rear set back requirements in a Mixed-Use (MXD) zoning.

The Hotel is open to the public and has both interior meeting space, lobby, and bar area all open to the public. Additionally, the hotel has an exterior seating area adjacent to the front door of the hotel.

In regard to parking for this project, one parking space per room is typically required. This proposed project creates 83 on-site parking spaces with access to 62 public spaces on N. Locust as well as 89 public spaces on NE 69th St. The proposed zoning change to Mixed-Use (MDX), which is a planned district that provides more flexibility to project requirements, allows the Planning Commission and City Council the authority to reduce the amount of required parking spaces specific to this development. It is City Staff's recommendation to lower the amount of required parking spaces to accommodate this particular project given the fact that there is on-street public parking located on N Locust St., and NE 69th St. There is approximately 234 parking spaces available between the Hotel property, N. Locust St. and NE 69th St. within one (1) block.

Also, the Developer has agreed to all recommended conditions.

Recommended Conditions

City Staff recommends that the following conditions be considered if the Planning Commission and City Council choose to approve this project request:

1. All signage shall comply with approved City Standards and shall be consistent with existing Downtown Gladstone signage and Marriott Fair Field Inn and Suites Standards.
2. A compliant monument sign shall be used to serve the development. The monument sign requires a minimum of 240 square feet of area landscaping around the sign or per Marriott's acceptable franchise standards.
3. A fire protection system shall be installed and comply with the 2015 International Fire Code.
4. All manicured grass and landscaped areas shall be irrigated and maintained in perpetuity.
5. All fencing within the development boundaries shall be wrought iron style fencing.
6. All exterior lighting shall be energy efficient (LED) lighting and comply with city code.
7. All building mechanical equipment shall be screened from public view. Typical hotel individual room PTAC (air conditioning) units shall be acceptable.
8. Service and loading areas shall be screened from public view.
9. Development shall consist of best practice for sustainable design and follow the current energy and building codes.
10. To the extent any retaining walls are necessary on or near the property line or adjacent to the right-of-way; retaining wall details shall be submitted and approved by city staff prior to construction. All structural walls shall be reviewed via building permit process.
11. Disabled vehicles shall not be permitted on site.
12. Tractor trailers shall not be parked or stored overnight. Storage containers shall not be stored on site unless as part of a valid building permit.
13. Dumpsters and storage shall be enclosed (5 sides) and covered to adequately be screened from public view. Trash services shall be scheduled between 7:00 am – 10:00 pm.
14. Provide outdoor bike racks within development area to serve employees, visitors and the area community.
15. Water and sewer utilities must be designed and installed to city code.
16. A public art component will be incorporated into this project as approved by City Council.

There has been a change to condition #12 stating that "Tractor Trailers shall not be parked or stored overnight. Storage containers shall not be stored on site unless as part of a valid building permit."

Changed from, "12. Tractor trailers (not registered as hotel guests) shall not be parked or stored overnight. Storage containers shall not be stored on site unless as part of a valid building permit."

Recommendation

City Staff recommends that the request be **APPROVED** contingent upon the conditions listed above.

GLADSTONE PLANNING COMMISSION MINUTES

Council Chambers July 15, 2019

1. Meeting called to Order- Roll Call. Chair McGee called the meeting to order at 7:00 pm.

Commissioners present were: Chase Cookson
Mike Ebenroth
J.N. Hernandez
Alicia Hommon
Gary Markenson
Katie Middleton
Kim Murch
James New
Shari Poindexter
Bill Turnage
Larry Whitton
Jennifer McGee, Chair

Also present: Jean Moore, Mayor Pro Tem
RD Mallams, Councilmember
Scott Wingerson, City Manager
Bob Baer, Assistant City Manager
Alan Napoli, Building Official/Com Dev Administrator
Austin Greer, Assistant to the City Manager/Planning Administrator
Cheryl Lamb, Administrative Assistant

2. Pledge of Allegiance to the United States of America.

3. Approval of Previous Meeting Minutes: June 18, 2019. Chair McGee asked if there was a motion to approve the minutes from the June 18, 2019 meeting. Mr. Turnage moved to approve the minutes; Mr. Whitton seconded. The minutes were approved, 12-0.

4. Other Business. None.

5. Public Hearing: 6901 N Oak, legally described as Linden Lt 8 & 9, Fairfield by Marriott, File #2019-009.

Chair McGee opened the Public Hearing. She provided information on the process which would include a presentation by City staff followed by an opportunity for the applicant to give a presentation. Then there would be an opportunity for members of the public to speak in opposition, followed by an opportunity for members of the public to speak in support of the application. After that, there would be time for the Planning Commission members to ask questions and discuss the issue. She asked that the Planning Commission members hold their questions during the presentations, until the question and discussion on the issue.

Mr. Greer presented the following information:

"The applicant is requesting a replat, zoning change and a site plan revision for the purpose of constructing a brand new Marriott Fairfield Inn Hotel at 6901 N Oak Trafficway. This new hotel will stand 5 stories tall, be 67,140 square feet and have 109 air conditioned rooms."

"This proposed project will replat and rezone five (5) individual parcels into one parcel and one zoning. The current zoning of these five (5) parcels is a combination of C-1 Local Business District and C-2 General Business District. The desired zoning of this proposed project is Mixed-Use (MXD), which is a planned district and consistent with adjacent properties such as the Heights at Linden Square and the Northland Innovation Campus."

"MAg Partners, Scarlett Hotel Group, and Marriott Hotels have designed a hotel that incorporates low impact development practices, bicycle accommodations, best management practices (BMP) to reduce storm water and waste water, reduce light pollution, increase building water and energy efficiency and similar sustainable practices."

"There are not front, side and rear set back requirements in a Mixed-Use (MXD) zoning."

"The Hotel is open to the public and has both interior meeting space, lobby, and bar area all open to the public. Additionally, the hotel has an exterior seating area adjacent to the front door of the hotel."

"In regard to parking for this project, one parking space per room is typically required. This proposed project creates 83 on-site parking spaces with access to 62 public spaces on N. Locust as well as 89 public spaces on NE 69th St. The proposed zoning change to Mixed-Use (MDX), which is a planned district that provides more flexibility to project requirements, allows the Planning Commission and City Council the authority to reduce the amount of required parking spaces specific to this development. It is City Staff's recommendation to lower the amount of required parking spaces to accommodate this particular project given the fact that there is on-street public parking located on N Locust St., and NE 69th St. There is approximately 234 parking spaces available between the Hotel property, N. Locust St. and NE 69th St. within one (1) block."

Recommended Conditions

City Staff recommends that the following conditions be considered if the Planning Commission and City Council choose to approve this project request:

- 1. All signage shall comply with approved City Standards and shall be consistent with existing Downtown Gladstone signage and Marriott Fairfield Inn and Suites Standards.*
- 2. A compliant monument sign shall be used to serve the development. The monument sign requires a minimum of 240 square feet of area landscaping around the sign or per Marriott's acceptable franchise standards.*
- 3. A fire protection system shall be installed and comply with the 2015 International Fire Code.*
- 4. All manicured grass and landscaped areas shall be irrigated and maintained in perpetuity.*
- 5. All fencing within the development boundaries shall be wrought iron style fencing.*
- 6. All exterior lighting shall be energy efficient (LED) lighting and comply with city code.*
- 7. All building mechanical equipment shall be screened from public view. Typical hotel individual room PTAC (air conditioning) units shall be acceptable.*
- 8. Service and loading areas shall be screened from public view.*
- 9. Development shall consist of best practice for sustainable design and follow the current energy and building codes.*
- 10. To the extent any retaining walls are necessary on or near the property line or adjacent to the right-of-way; retaining wall details shall be submitted and approved by city staff prior to construction. All structural walls shall be reviewed via building permit process.*
- 11. Disabled vehicles shall not be permitted on site.*

12. *Tractor trailers (not registered as hotel guests) shall not be parked or stored overnight. Storage containers shall not be stored on site unless as part of a valid building permit.*
13. *Dumpsters and storage shall be enclosed (5 sides) and covered to adequately be screened from public view. Trash services shall be scheduled between 7:00 am – 10:00 pm.*
14. *Provide outdoor bike racks within development area to serve employees, visitors and the area community.*
15. *Water and sewer utilities must be designed and installed to city code.*
16. *A public art component will be incorporated into this project as approved by City Council.*

“The Developer has agreed to all recommended conditions.”

“City Staff recommends that the request be APPROVED contingent upon the conditions listed above.”

Mr. Greer said, “With us tonight in the audience we have Josh Berger, John Hughes and Jude Beller with Mag Partners based out of Omaha. They are the Developers of this hotel.”

“We also have with us tonight Rob Sadoff, Zio Pekovic, and Andrew Scarlett with Scarlett Hotel Group based out of Chicago and Nashville. They will be the Hotel operators.”

“I want to thank both MAg Partners and Scarlett Hotel Group for traveling all this way and being here with us tonight.”

“Thank you and that is all Madam Chairperson.”

Chair McGee asked the applicant if they would like to have an opportunity to speak.

Mr. John Hughes, MAg Partners, 11550 I Street, Omaha, Nebraska 68137. Mr. Hughes shared that Austin was pretty thorough with his review and comments. They have gone through the 16 items there and they are all logical good practice suggestions and they will incorporate all of them into the plans. On the screen was a rendering of the proposed project. It pretty accurately reflected the colors. There was a sample board in the room that showed exactly what they would be using. There are 109 rooms, a mix of rooms, but a fair number of double queen rooms, which are good for families. They think they will get some good family business. They think they will get some good corporate business. He looks forward to getting started and working out the rest of the issues. Their architectural plans, the actual construction documents are 50% complete. They just received comments back from Marriott today. They will now study those and their goal, if they are approved by City Council in a couple of weeks, will be to press on the gas and get those to 100% complete so they can start construction this fall.

He introduced the Scarlett Group: Zio Pekovic, Andrew Scarlett and Rob Sadoff. He also introduced Tim Bergen, their civil engineer from Clark Enersen Partners. He also introduced Jude Ballard, Josh Berger and himself, John Hughes, from MAg Partners.

Chair McGee asked if there were any members of the audience who wished to speak in opposition of the project. None.

Chair McGee asked if there were any members of the audience who wished to speak in support of the project.

Tom Pryor, Pryor Appraisals, 405 NE 70th St, Gladstone. Mr. Pryor shared that he is adjacent to the parking lot at the project. He is in favor; he thinks it's a great project. He has concerns about parking and

he is working with the city right now to resolve some of the issues that he has. He knows that Gladstone has wanted a hotel for a long time. It's a nice Fairfield Marriott and he's looking forward to it.

Jack Wenenn, Pride Martial Arts, 70th and N Oak. Mr. Weneen is not against the project what-so-ever. He met with Scott (Wingerson) today and talked about a few things. Number one for them is they deal with a lot of children. He brought up some safety issues as far as construction. He wanted to know about barriers and how that would work out for them. He said it's not that the parents don't control their children, but when you are dealing with 4 and 5 year olds, better safe than sorry. Another item they discussed was that right now the parents are using public parking in addition to their current parking situation. That's always been a little bit of a sticky situation with the parents. Right now, not as much because they have daytime classes as well as evening classes, but when school is back in session then parking is a premium. He is willing to work with anybody, but the parking they use right now is Tom's old property. There are 14-15 spots there that they utilize quite often. He would like to know how that is going to work for them. They want to make their parents happy and if they have to take their children and park somewhere far away and walk, especially at night, it can get kind of sticky. He would definitely like to figure that part out as well. Mainly, Mondays through Thursdays are their busiest times. He is even willing to work with the hotel as well as far as overflow parking on the weekends. Friday nights they are typically not that busy by design. Saturday night their classes are done at 1:00 Saturday, so the rest of the evening of Saturday is open. He definitely wants to have a good partnership with friendly neighbors. Those are a few things he wanted to bring up to the commission. He thanked them for listening.

Chair McGee opened the comments to the Planning Commissioners.

Mr. Markenson asked Austin about his mention that tractor trailers can park on property as long as they are registered. If there are a couple of tractor trailers there it will take out a lot of their parking places.

Mr. Greer shared that the thought behind that is, for this particular hotel, that's not really the parking they will see. He didn't want to take that opportunity away from them if there was a bleed over of some sort of one or two. It's not likely.

Mr. Markenson had some questions for the developer who spoke first.

Mr. Greer asked John Hughes and Josh Berger to stand at the podium to answer questions together.

Mr. Markenson asked if they were going to have meeting facilities on the property.

Mr. Hughes replied yes. There are some conference facilities in the hotel. Those will be available to any group. You don't necessarily need to be a registered guest to use those facilities. They aren't big enough for a convention, but they can accommodate small groups. Many times you see a rotary club, or something like that, that might need a room.

Mr. Markenson asked how many employees they expect to have.

Mr. Hughes deferred to the operator of the hotel, Rob Sadoff.

Mr. Sadoff said there would be 30-40 employees.

Mr. Markenson thanked them all for coming. He said we really need a hotel here badly in Gladstone. He is tired of sending his relatives up to the airport for lodging. He has some real concerns about parking. The public parking spaces were basically promised to the Heights and are used by the Heights. And they are

used by Summit Grill and they are all full. They have a Stone Canyon opening today and they will use more of those spaces. They have 30 employees and meeting groups and 109 rooms needing parking spaces. He thinks there will be major parking problems. He would much like to see the City or the Marriott have a designated parking lot where you can send your guests. He said they are going to have a terrible mess. He already gets complaints from people going to Summit Grill because they have to park 2-2 ½ blocks away. With Stone Canyon and a hotel coming in, he thinks they will have major problems and they should try to solve them.

Mr. Greer said that he could address this concern. He doesn't believe that the public parking places are dedicated to the Heights residents. There is a parking location inside the actual complex. Right now it is just convenient for some of the Heights residents to park there. They might not be able to do that in the future with the hotel coming in or other projects that come forward. There is underutilized parking on 69th Street that go up one block. There are over 235 parking spaces that were counted within a block and without counting 70th Street or down near Locust and iWerx. The city does have some concepts right now that they are working on to address some of these parking issues, but they think it just some growing pains that people will have to get used to and learn where they can park. They are seeing that daily now. The Summit Grill is getting better. The iWerx parking is getting better, who we share a parking agreement with. After 5:00pm that becomes all public parking as well. There are just going to be some growing pains as they move forward but he thinks they will get there.

Mr. Sadoff shared that he has been operating hotels for about 20 years and they have seen less and less guests come to the hotel with a car. They come to the airport and take an Uber to the hotel. They are seeing their own location very similar. And talking about 30 employees, all 30 employees won't be there at the same time. There might be 10 tops.

Mr. Greer added that there is a misconception that hotels are traffic drivers. It is more or less the exact opposite of that.

Mr. Sadoff said they don't get much traffic coming in and out of the hotel. You will have guests leave in the morning and come back in the evening. They are talking 40-50 cars on a busy night.

Mr. Markenson said he isn't concerned about traffic; he's concerned about parking. When the Heights was approved, it was specifically said in hearings that they would have all of the parking on the fringe for the Heights residents and for the commercial development that would come into the corner. The Summit Grill brings in far more people than they ever envisioned. He has concerns about it and he wanted to lay them out.

Mr. Hughes stated that he is sensitive to parking all the time. They own a number of commercial properties in urban areas and this is really a downtown core. Downtown cores have parking that is atypical. The one-to-one parking requirement has been around for decades for suburban hotels. This isn't a suburban hotel. This is your downtown core hotel. People, guests, understand that parking works a little differently. As someone who is going to invest \$15 million in this hotel, he isn't concerned about parking being a deterrent. Like, they won't be successful because they don't have enough parking. He thinks that the 86 stalls that they have onsite are adequate parking. The parking that is available, the 200+ stalls, they realize that Summit Grill is a great driver of people, which they are excited about. They had the first meal at Stone Canyon today and he is excited about them being there too. For what it's worth, they are sensitive to it, but they feel they are adequately parked and Marriott feels they are adequately parked.

Ms. Middleton asked what they anticipate as the occupancy rate.

Mr. Sadoff said it is a ramp up over 2-3 years before they have a fully stabilized occupancy rate. They project somewhere in the 65% range up to the mid-70's once they are stabilized as an operating hotel. Hopefully it goes faster as it is better for them that way.

Ms. Middleton asked if that was out of 100+ rooms.

Mr. Sadoff replied 109.

Ms. Middleton asked when they think they will be open.

Mr. Hughes said they are projecting in the late 4th quarter of 2020.

Ms. Middleton asked Austin if there is an abandoned lot where the glass company used to be.

Mr. Greer replied that Santa Fe Glass is part of the hotel development.

Mr. Murch asked who owns the property across the street and if it is city-owned.

Mr. Greer confirmed that it is city-owned.

Mr. Murch asked if it was possible that it serves as parking as the need becomes.

Mr. Greer replied that it is always an option. He thinks the next thing they would like to do is another project on that location, until then, possibly.

Mr. Murch asked a question of Alan about the bar. He wanted to know if there are any ordinances about having a liquor license that close to the school.

Mr. Napoli shared that there are some things they have to do. He doesn't know all the ins and outs through the state; the City Clerk does. There are some things that can be done if they are close enough.

Mr. Murch said that the Innovation Center has both the college and the Sage school, and the Martial Arts Studio is saying that their students are kids as well. He was curious, they don't deal with liquor licenses, but could that be a problem for these guys.

Mr. Sadoff replied that the Summit Grill got one and the pizza place got one...

Mr. Murch said they are a little bit farther away. The building right across from you, the big high rise, there are schools in there.

Mr. Greer said it is something they will take a look at for sure.

Mr. Murch asked the developers and the management companies if they currently have a lease with the Marriott.

Mr. Berger shared that with Marriott, pretty much all Marriott's are franchised. They currently have a signed franchise agreement. It is for a 20 year term.

Mr. Murch asked if for 20 years it would remain a Fairfield.

Mr. Berger said as long as they own it, yes.

Ms. Poindexter asked if they had considered any kind of underground parking.

Mr. Hughes replied that, economically, it isn't viable.

Ms. Poindexter shared that when Linden Square was being developed and planned, one of the concerns she had was to do with parking. Not only parking but trucks that came to make deliveries. She has been down these two roads many times when she hasn't been able to go down the roads because of delivery trucks and she feels they will probably be in the same situation. She is a member of the Linden Baptist Church which is only a block away from there and they have had lots of trouble with people who have decided to park in the parking lots there because it's hard to get around here. They try not to be rude to these people but it is a concern. There is a lot of damage that has been done; lots of trash has been left. She thinks the most important thing from listening to what she heard, she heard one of them say they aren't concerned about the parking because you have additional parking for them, but they aren't looking around the neighborhood.

Mr. Hughes shared that he is saying they are comfortable that the stalls that they have on their property to serve the Marriott hotel, this development, is adequate. They are willing to make the \$15 million based on the 83 stalls they have.

Mr. Greer added that there are 109 rooms. If they were 100% occupied there would be 109 cars, right.

Mr. Hughes interjected that wasn't necessarily true.

Mr. Greer said it isn't necessarily true, but they are offering between 83 and 90 parking stalls at this time. That is well over 85-90% occupied every single night. In the hotel world, he doesn't think that is a realistic number at all. The parking they are providing onsite on their property is about 90. That should be adequate most of the time, unless there is something really great happening in Gladstone that we are really happy about when they are 100% occupied.

Mr. Hughes shared an example of there being seven (7) of them there that night. They have seven (7) hotel rooms and they have two (2) cars. That is a common occurrence in hotels. He said is there one person coming in with one room and one car, yes. It happens quite often, but it doesn't happen 100% across the guest list.

Mr. Murch asked if there had to be a zoning change or something.

Mr. Greer said there is a zoning change tonight from multiple commercial uses to a mixed use.

Mr. Murch said that eliminates setbacks, but does it eliminate the need to have 234 parking spaces.

Mr. Greer shared that the 234 parking spaces is irrelevant to the zoning that is happening tonight. With the zoning change to mixed use for a hotel, it's one parking spot per one room. They are asking tonight that it would be lowered between the Planning Commission and the City Council. He asked to confirm if that answered the question.

Mr. Murch replied that is what he had read and what he thought. They need to vote on having less than 109 parking spots.

Mr. Greer said they are agreeing with the staff report. They don't have to vote on that specifically.

Mr. New ask to clarify that they were set to start this fall and they think they will be completed by 2020.

Mr. Hughes shared that their construction documents are done September 1st and they submit for building permits on September 1st. At the same time they will go out to bid to contractors. Between the building permit and bids they figure takes about a month. They start on October 1st. The goal is to get concrete poured before winter really sets in. Then they can build comfortably over the winter. When the weather is nice again they will start to close and finish things on the inside. It's typically a 12 month process. It can be as long as 14; it's hard to go much shorter than 12 though.

Mr. New asked about the meeting rooms. In most hotels, unless you are a member/resident you can't just walk in and use a room. He asked if it was free to residents, to Gladstone residents, or at a cost.

Mr. Sadoff replied that there will be a cost. They always sell the meeting rooms to outside guests. Rarely do they have only inside guests using their rooms.

Ms. Hommon addressed John and asked if the meeting rooms were strictly meeting rooms, or could you have small weddings, what does that look like.

Mr. Hughes replied they are looking at about 500 sf. It's a large wardrobe.

Ms. Hommon addressed city staff and shared that her experience is there are actually a great deal of underutilized parking areas. Specifically with the Heights, she finds there are a lot of the residents who are parking where it is convenient for them as opposed to what is already set aside for them that other people can't park in. So it feels like it's more crowded than it is. They mentioned they are working on a plan to alleviate some of that stress and she asked what that looks like for the city and the businesses that are around that might have a concern about the accessibility to the business because of parking.

Mr. Greer shared that they have some conceptual drawings on their side and they are working with a consultant to try to provide anywhere between 30-50 parking spaces additionally in the downtown. They are having those conversations right now. They are hoping to have something in the next year or so. He agrees that there is some underutilized parking in the downtown and right now it's more convenient for the Heights but some things will have to change and we all have to be good neighbors. He thinks one of the positive things they saw tonight with Mr. Pryor and Mr. Weneen is that it seems like they are going to be willing partners and good neighbors. He thinks they will all get along and it will all work out for the better of the community.

Ms. Hommon asked if there is something in place with the Heights that is already set in their contract as a new resident at the Heights that is enforceable on where they are supposed to be parking. She asked if that was already in place or is that something they have to have built into the contract.

Mr. Greer said he wasn't sure if it was built into the contract or not, but they have a good working relationship with the property owners and he knows that they have had to ask some of the Heights residents to start parking inside. At first they aren't too thrilled about that. Then they start doing it and they get used to it. They are seeing more people parking inside.

Mx. Hernandez wondered if a lot of the issues of the residents that are parking outside the designated areas are because of the construction that's going on. They have heard that residents say the construction is blocking where they usually park. Maybe when it's done, that will help.

Mr. Greer agreed and shared that the construction is ahead of time over there so hopefully they will be out of the way while the potential hotel is being built.

Ms. Hommon asked what the timeline is on that construction being finished.

Mr. Greer said they started to have those conversations with the construction across the street at the Heights and they are aware of the proposed project and they will be good neighbors too.

Mr. New asked if there were any plans for any multi-level parking.

Mr. Greer said that in this area it isn't economical to do that.

Ms. Middleton asked the business owners present, Mr. Pryor and Mr. Weneen, if they have parking difficulties now or are they anticipating.

Mr. Weneen said they have trouble with parking now. Not so much in the summer because they have daytime classes. Some of the parents will come in early and they don't have to come in the evening. When school is back in session, the bank has been wonderful as far as overflow parking. The current parking they have behind the bank building has worked out really well. They do get several complaints a month that there is no parking. They aren't crazy about it but it is a constant concern. They work around it a little bit. Some of their employees will park on the other side of the bank. They aren't thrilled about it but they are getting used to it. They plan on growing with everything the city has done. He was talking with Scott about it earlier today, with the Summit Grill. He spoke to the manager of Stone Canyon Pizza. That happens to be one of his favorite pizza joints to begin with and their parents are very excited about it. He has parents saying they will stay parked in his parking lot and walk up to the pizza place. He says that doesn't work for the next class. They have to clear out the parking lot every 45 minutes.

Mr. Turnage asked if they have any insight into their customers and if they will be traveling through going to the airport; will they be coming to Gladstone for some reason like the Innovation Center; things like that.

Mr. Berger says he thinks it will be a draw for the area from outside. He doesn't think they will have people staying in their hotel from the airport. Most of them will be coming from out of town.

Mr. Turnage asked if they will be staying multiple nights.

Mr. Berger replied that he hopes it is multiple nights. Typically, it is about 1.8 nights per stay. Most guests will stay two (2) nights.

Ms. Poindexter asked what the draw is for people to come to this hotel.

Mr. Berger replied that people will be coming from downtown. They see a lot of different community businesses that will bring business. The Community Center next door will bring business as well.

Mr. Ebenroth shared that he is excited for the hotel to come. He asked about the plan reviews and that there were only two (2) who had replied. Marc had in his the need to move FDC out next to PIV. He has no idea what that means.

Mr. Greer said it has to do with the fire department and they have already spoken with the developer and they are working it out.

Mr. Ebenroth asked about the second plan review that shows approval but he can't read the signature of who approved it. He suggested that they check their name on the list shown.

Mx. Hernandez said they were very excited about the hotel. It sounds really cool. They like the idea of getting more jobs in the area. They asked Mr. Pryor and Mr. Weneen if they have any concern or worry in regards to perhaps being priced out of the area as downtown Gladstone continues to develop and continues to grow; that they won't be able to afford the location they are in down the road, or is that a concern.

Mr. Weneen asked if they were referring to taxes going up.

Mx. Hernandez confirmed yes.

Mr. Weneen says he brought that up and he doesn't know the answer to that. It is a concern of his.

Mx. Hernandez shared they would like Gladstone, as a city, to review our policies to see what protections we have in place for the smaller businesses, for Mom and Pop shops. They aren't savvy on it and wondered if smaller businesses get tax cuts for what's going on or are the property taxes going back in to those specific areas.

Mr. Pryor said he intends to turn his building into a retail building eventually. He thinks that would fit into downtown lifestyle. He has no concerns about being driven out.

Mr. Markenson asked if the city owns the five parcels of land.

Mr. Greer confirmed they do.

Mr. Markenson asked if the city will sell them to Marriott.

Mr. Greer replied that it is part of the entire incentive package.

Ms. Hommon shared that it is really important that they don't penalize the possibility of development because of poor choices of our public on where they may or may not park. Along that same line, she feels we are very fortunate to live in a place where our police department is close by so someone walking a block in the dark is a lot safer; we're not talking about downtown Kansas City. She also believes that when you are talking about growing a community and everything they are doing right now as a community that lack of parking is a good thing. It means we are growing and doing the right things and we are also fortunate to be in a city that is motivated by that and motivated by fixing those problems. If we never have the problem there's never going to be a fix.

Mr. Whitten mentioned the abundance of lighting on the lot which will probably illuminate the whole area. He thinks it will help as far as crime. He asked if they have quite a bit of lighting on the parking lot.

Mr. Berger said their lighting plans meets the city requirements; the balance of enough lighting and not too much lighting. It is on all night long.

Chair McGee closed the public hearing.

MOTION ON THE REPLAT: By Mr. Ebenroth, seconded by Mr. Whitten, to approve the Replat, Fairfield by Marriott, File #2019-009. The motion carried 12-0.

MOTION ON THE ZONING CHANGE: By Mx. Hernandez, seconded by Ms. Hommon, to approve the Zoning Change, Fairfield by Marriott, File #2019-009. The motion carried 12-0.

MOTION ON THE SITE PLAN REVISION: By Mr. Turnage, seconded by Mr. Whitton, to approve the Site Plan Revision, Fairfield by Marriott, File #2019-009. The motion carried 12-0.

6. **Communications from City Council.** Mayor Pro Tem Moore thanked the Commissioners and shared that she knows they take a lot of time and they are very important. She thanked them for their time and energy and she also thanked the developers and operators for being here tonight. She reminded everyone that Stone Canyon opened officially today. She had the opportunity to be there Saturday night for a soft opening and she can tell them they won't be disappointed. It's going to be great.
7. **Communications from City Staff.** Mr. Greer shared that on August 5th the Planning Commission will hear zoning changes for medical marijuana. On August 19th, the Commission will hear the proposed gas station/convenience store located at the old Tanners building. He shared that there will be a Health & Safety Fair on Thursday, July 18th at the Gladstone Community Center between 7:30am and 11:00am. It is free and open to the public.
8. **Communications from Planning Commission Members.** Ms. Hommon said that she has had the opportunity twice to go to Stone Canyon, a benefit of being their neighbor. She said it's amazing; please go. They've done a beautiful job inside. They've warmed that space up. It's a really, really great addition to our community.

Mr. Markenson shared that last Saturday at the Atkins-Johnson Farm they had children's garden day. Two hundred and twenty one people attended and they had the best time. Every one of those kids left happy. He didn't see a bratty kid in the whole bunch. We have good kids in our community. He asked about the Kendallwood Senior Housing that they approved years ago and wondered how it was coming.

Mr. Napoli said they are wrapping up phase 1 which is the independent living. Phase 2 is the short term skilled nursing. That phase took a little longer in that they had to get some state approvals and other departments. They ran seven (7) months behind the architect was spending all their money. They are back on track but they are about 6-7 months behind. They hope to have the independent living open before the summer is over. The short term skilled nursing will be late fall or winter.

Mr. Turnage shared that they have been waiting for years for a hotel in Gladstone. End of comment.

Ms. Poindexter shared that she is excited about the hotel too, but she, reluctantly, has to notify them that tonight will be her last night for the Planning Commission. She and her husband have decided to relocate to northeast Arkansas and they will move there by the end of the month. She said it has been a pleasure for many years. She has learned a lot she hopes to carry that through to the next city she lives in.

Mr. Markenson wished her good luck and Mr. Greer thanked her for her service.

Mr. Murch gave kudos to the Parks & Rec department. He said on the weekends, every time he drives by Linden Square for the bands it is standing room only.

Mr. Whitton said he is glad to see the hotel come to town. He has been a long time resident here and one of the oldest businessmen in this town. He really thinks this is great. He hates to see Shari leave.

9. **Adjournment.** Mr. New motioned to adjourn; Mx. Hernandez seconded.

Chair McGee adjourned the meeting at 7:45pm.

Respectfully submitted:

Cheryl Lamb, Recording Secretary

Approved as corrected _____

Jennifer McGee, Chair

Approved as submitted _____



St. Joseph News-Press • Smithville Herald • Kearney Courier • Liberty Tribune • Gladstone Dispatch • Green Acres Publication • Daily Star-Journal • Read It Free • NWMO • Atchison Globe • Hiawatha World • Miami County Republic • Osawatomie Graphic • Louisburg Herald • Read It Free • Miami County

NPG Newspapers, Inc., P.O. Box 29, St. Joseph, MO 64502

Proof of Ad 06/24/19

Account: 90701	Ad ID: 6604371	Discount: \$0.00
Name: CHERYL LAMB	Description: Hearing 2019-009.Review 6901	
Company: CITY OF GLADSTONE	N Oak Trfwy	
Address: 7010 N. HOLMES	Run Dates: 06/27/19 to 06/27/19	Gross: \$33.88
GLADSTONE, MO 64118	Class: 170	Paid Amount:- \$0.00
Telephone: (816) 423-4110	Orig User: SANDRAR	Amount Due: \$33.88
	Words: 123	
	Lines: 25	
	Agate Lines: 41	

Publication	Start	Stop	Inserts	Cost
Courier Tribune	06/27/19	06/27/19	1	\$22.59
Gladstone Dispatch	06/27/19	06/27/19	1	\$11.29

(Published in the Courier-Tribune Thurs., 6/27/19)

PUBLIC HEARING #2019-009

All persons are hereby notified that the Gladstone Planning Commission will conduct a public hearing on Monday, July 15, 2019 at 7:00 pm in the Council Chambers of Gladstone City Hall to review a Replat, Zoning Change and Site Plan Revision for the property at 6901 N Oak Trafficway legally described as LINDEN LT 8 & 9 BK 25 in the City of Gladstone, Clay County, Missouri. Applicant: MAg Parnters. Owner: City of Gladstone. Subsequently, at a special meeting on Monday, July 29, 2019 at 7:30 pm, the City Council will hold a public hearing on the same request. The public is invited to attend. Please call 423-4110 if you have any questions.

Proof



MEMO

7-9-19

To: City of Gladstone

From: MAg Partners

CC: Austin Greer

Re: Fair Field Inn and Suites

PROJECT INFORMATION

The Fairfield Inn and Suites select service hotel will be developed following the most current Marriott prototype and will have full features and amenities associated with this flag type. The development will use best design and construction practices in terms of sustainability throughout the project and on into operations of the hotel business.

Site

- Storm water will be captured and conveyed via storm water system into a regional detention system via best management practices
- The entry and porticoche is designed for easy traffic flow both vehicular and pedestrian
- Landscaping and hard scaping will be used in and around the entry and throughout the site to help mitigate runoff and enhance aesthetics
- Site lighting will be designed to minimize light pollution and will be LED
- Bike racks will be installed on property to provide and encourage alternate methods of travel.

Building – Architectural

- Exterior materials will be high quality following Marriott standards
- Roofing system will include R30 insulation and a white TPO membrane to reduce heat island effect
- Interior materials will include low VOC paints, adhesives, and flooring materials
- No smoking will be allowed in or around the building within standard Marriott distance of entrances.

Building – MEP Systems

- HVAC systems will follow all energy code compliant equipment per Marriott standards
- Plumbing fixtures will follow Marriott standards and reduce water consumption through low flow
- LED lighting will be use on site and in the building for fixtures per approved Marriott standards

Final Plat Linden Reserve

A Replat of Lots 3-11, together with part of Lots 1, 2 and 12, all of Block 25, Linden, a subdivision in Gladstone, Clay County, Missouri, lying in the Northeast Quarter of Section 23, Township 51 North, Range 33 West



olsson
7010 West 133rd Street, Suite 200
Overland Park, KS 66213-4150
TEL: 913.381.1170 www.olsson.com

Property Description:
All of Tract 2, Replat of Lot 1, 2 and 3, Block 25, Linden, together with all of Lots 4, 5, 6, 7, 8, 9, 10 and 11, and part of Lot 12, all of Block 25 of Linden, both subdivisions in the City of Gladstone, Clay County, Missouri, all lying in the Northeast Quarter of Section 23, Township 51 North, Range 33 West, more particularly described as follows:
BEGINNING at the Northeast corner of Tract 2 of Replat of Lot 1, 2 and 3, Block 25, Linden, a subdivision in the City of Gladstone, Clay County, Missouri, thence South 00 degrees 28 minutes 40 seconds West, on the East line of said Tract 2, and on the East line of Lots 4, 5, 6 and 7, all in Block 25 of Linden, a subdivision in the City of Gladstone, Clay County, Missouri, a distance of 371.62 feet to the Southeast corner of said Lot 7, thence North 89 degrees 30 minutes 31 seconds West, on the South line of said Lot 7, and on the South line of Lot 8, Block 25 of said Linden, a distance of 240.01 feet to the Southwest corner of said Lot 8, thence North 00 degrees 25 minutes 50 seconds East, on the West line of said Lot 8, and on the West line of Lots 9, 10, 11 and 12, all in Block 25 of said Linden, a distance of 220.47 feet to a point, thence South 89 degrees 34 minutes 38 seconds East, departing said West line, a distance of 123.09 feet to a point on the East line of said Lot 12, said line also being the West line of said Tract 2, thence North 00 degrees 28 minutes 18 seconds East, on said East line, and on the East line of Lot 13 in Block 25 of said Linden, a distance of 69.89 feet to the Southeast corner of Tract 1 of said Replat of Lot 1, 2 and 3, Block 25, Linden, thence South 89 degrees 42 minutes 13 seconds East, departing said East line and West line, on the South line of said Tract 1, a distance of 80.17 feet to the Southeast corner of said Tract 1, thence North 00 degrees 28 minutes 18 seconds East, on the East line of said Tract 1, a distance of 80.00 feet to the Northeast corner of said Tract 1, said corner also lying on the North line of said Tract 2, thence South 88 degrees 42 minutes 13 seconds East, on said North line, a distance of 44.30 feet to the POINT OF BEGINNING, containing 87,134 Square Feet or 1.5412 Acres, more or less.

Declaration:
The undersigned owner of the property described herein how the same is to be subdivided in the manner shown on this plat and said property shall hereafter be known as "Linden Reserve". It shall be a sufficient description of the lots on this plat to hereafter designate the same by the number appearing near the center of the lot followed by the words "Linden Reserve".
An easement or license is also hereby granted to the City of Gladstone, Missouri to locate, construct and maintain, and to authorize the location, construction, maintenance or use of conduits, for all and any purposes, water, gas and sewer mains, poles, wires, antennas and appurtenances thereto, or any or all of them upon, under and along the strips of land outlined on this plat and designated "Utility Easement" or "U/E".
An easement or license is also hereby granted to the City of Gladstone, Missouri to locate, construct and maintain, and to authorize the location, construction, maintenance or use of water mains, poles, wires, structures and appurtenances thereto, or any or all of them upon, under and along the strips of land outlined on this plat and designated "Water Easement" or "W/E".

Execution:
OWNER of Lot 1: City of Gladstone, Missouri
In testimony whereof, the undersigned owner has hereunto set their hand(s) this _____ day of _____ 2019.

Witness:
On this _____ day of _____, 2019, before me personally appeared the above persons, to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.
In witness whereof, I have hereunto set my hand and affixed my notarial seal at my office in said county and state the day and year last written above.

My appointment expires: _____ **Signature:** _____

Surveyor's Notes:
1. Bats of Bearings - Held the North Line of Block 25 of Linden at 58°42'13" E, Missouri State Plane Grid System, MAD 83, West Zone, Notes 0'4'29" to match Replat of Lot 1, 2 and 3, Block 25, Linden, recorded at Block M, Page 177.2.
2. Subject Property lies within "Zone X" - Area determined to be outside the 0.2% annual chance floodplain, according to FEMA Flood Insurance Rate Map Number 22047C0202E, Effective Date August 3, 2010.
3. Subject Property contains 67,134 Square Feet or 1.5412 Acres, more or less.
4. Subject Property meets or exceeds the current standards for "Urban" Class Property Survey, as defined by the Department of Insurance, Financial Institutions and Professional Regulation, Division 2030, Chapter 16, Title 20 CSR 2030-16-040 - Accuracy Standards for Property Boundary Surveys, Effective June 30, 2017.
5. Subject Property was last conveyed in Block 7671, Page 67, Book 7661, Page 110, Book 7334, Page 58, Block 7922, Page 93 & Block 5886, Page 51.

Point Table				Point Table			
Point #	Grid Northing (m)	Grid Easting (m)		Point #	Grid Northing (m)	Grid Easting (m)	
1	330616.3742	842010.5087	5	330616.8010	843476.7007		
2	330613.1181	842014.6842	6	330612.1887	843476.8761		
3	330613.7617	843438.5005	7	330612.0833	843501.3086		
4	330610.1989	843438.0005	8	330610.1941	843501.3086		

Certification:
I hereby certify that the within Final Plat of "Linden Reserve", a subdivision, is based on an actual survey made by me or under my direct supervision and that survey meets or exceeds the current Missouri Standards for Property Boundary Surveys, as established by the Missouri Board for Architects, Professional Engineers and Land Surveyors in Section 2030 - Chapter 16 (20 CSR 2030-16). I further certify that the bearings shown on this plat are based on the State Plane Coordinate System of Missouri, Western Zone of 1983, that the section and subdivision corner monuments and survey boundary corner monuments were either found or set as indicated on this plat; that the corner lots and street center lines have been marked with permanent monumentation as indicated on this plat; that I have complied with all State and City County Statutes, ordinances, and regulations governing the practice of Surveying and the platting of subdivisions to the best of my professional knowledge and belief.

LEGEND

- SECTION CORNER
- 1/2" x 1/2" x 1/2" IRON W/AC CAP
- FOUND MONUMENT AS NOTED
- NOT CHASED "X"
- FOUND CHASED "X"
- MEASURED ENCLOSURE - THIS PLAT
- PREVIOUSLY PLATTED ENCLOSURE
- ENCLOSURE DIMENSION FROM RECORD
- R/W RIGHT OF WAY
- SANITARY SEWER EASEMENT
- UTILITY EASEMENT
- WATER LINE EASEMENT

Lot Summary Table

Lot #	Grid Northing (m)	Grid Easting (m)	Area
1	67,134 S.F.	1,5412 AC	
Total	67,134 S.F.	1,5412 AC	
Replatted Area	67,134 S.F.	1,5412 AC	

Scale: 1" = 30'
0' 15' 30' 60'

Approvals:
Approved by the planning commission of the City of Gladstone, Missouri, this _____ day of _____ 2019.
Chairman: _____
Approved by the city council of the City of Gladstone, Missouri, this _____ day of _____ 2019.
Ordinance No.: _____
Coral Suter, Mayor
Ruth Bocchino, City Clerk

Prepared For:
City of Gladstone
11500 I Street, Suite 200
Gladstone, Missouri 64117
Telephone (402) 405-1813
Prepared By:
Olsson & Associates
7010 W. 133rd Street, Suite 200
Overland Park, Kansas 66213
Telephone (913) 436-2200
Fax (913) 436-2201

REVISIONS

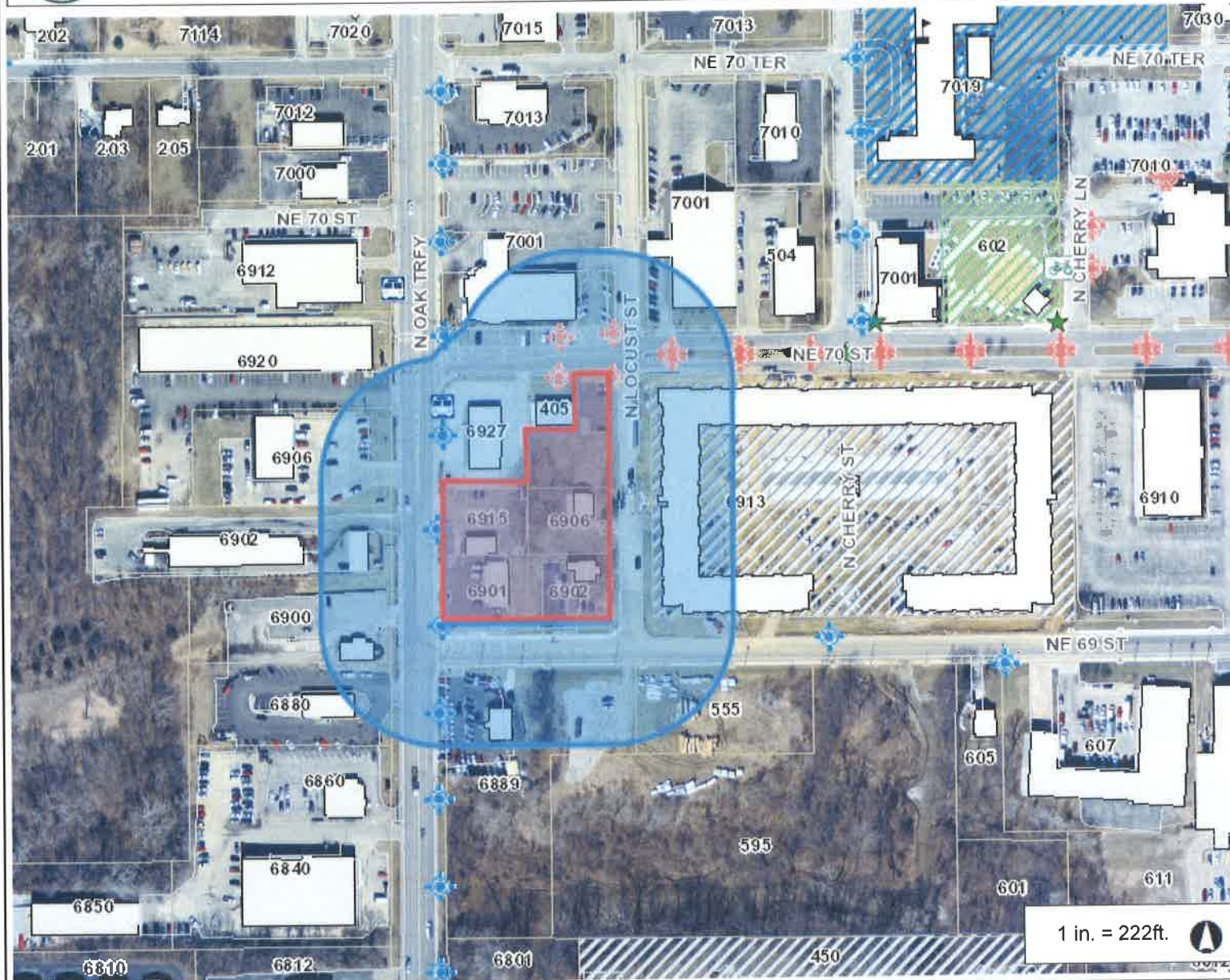
NO.	DATE	DESCRIPTION
1	08/11/2019	Final Plat

Final Plat
Linden Reserve
A Replat of Lots 3-11, together with part of Lots 1, 2 and 12, all of Block 25, Linden, a subdivision in the NE 1/4 of Section 23, Township 51 North, Range 33 West
Gladstone, Clay County, Missouri

SHEET
1 of 1



Gladstone, MO



1 in. = 222ft.



Legend

- KCPL Lights
- Gladstone Lights
- School Point
- Bike Parking
- Bus Stop
- Point of Interest
- Church
- Apartment Point
- Street Centerline
- Edge Of Pavement
- Driveway
- City Limits
- Parcel
- House Number
- Building Footprint
- School Polygon
- City Park
- Villages
- Apartment Polygon

Notes

File 2019-009 6901 N Oak
Fairfield Marriott Hotel
185' Map

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



Fairfield
BY MARRIOTT
INN & SUITES

GLADSTONE, MO

Prototype Version : GEN 4.5 / 2018.08.24
Project No. B4-173-1901



BASE⁴

BASE4
2901 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

Seal

Owner



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT & STATUS

DATE 2019.06.10

DRAWN BY MM

CHECKED BY PP

SCALE AS NOTED

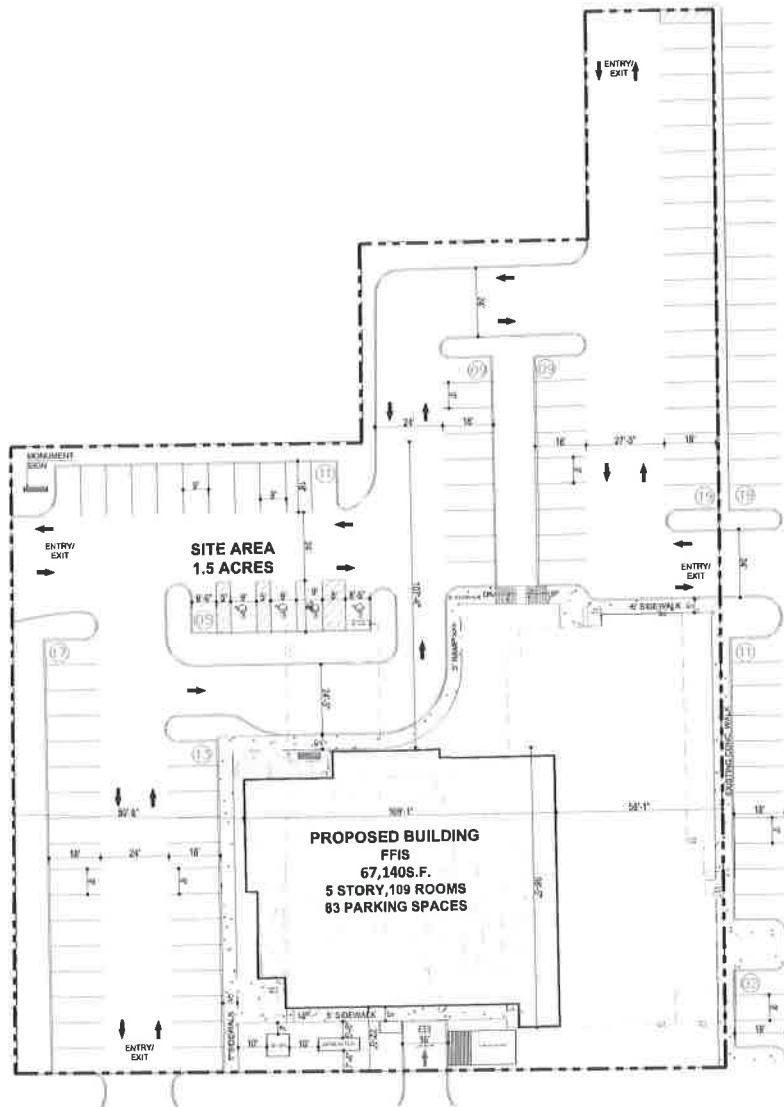
PROJECT NO. B4-173-1901

SHEET NAME

COVER SHEET

DRAWING NO.

A1.0



VICINITY MAP
N.T.S.

ZONING ANALYSIS		
REQUIREMENT	EDWARDS	COMPLIANCE
AGE	Gladstone, MD	
SITE ZONING	032 commercial district	
HOTEL USE ALLOWED	permitted by right	Y
MAX BUILDING HEIGHT	No more than 4 stories (see below)	*NO
FAR	No more than 100,000 sq. ft.	NA
ACT. PARKING SPACES REQUIRED	One parking space shall be provided for each individual guest room or suite, provided that any restaurant, bar, or other facility shall require one additional parking space for each 100 sq. ft. of space.	*NO
SIZE OF PARKING SPACES REQUIRED	No specific requirements found.	NA
DRIVE-UP SIZE REQUIRED	No specific requirements found.	NA
IMPERVIOUS AREA	No specific requirements found.	NA
MAX. PARKING IN ROW	No specific requirements found.	NA
LOADING ZONES	No specific requirements found.	NA
FIRE ALARM REQUIREMENTS	200	180
STAIRS	200	1
STAIRS	10 on the corner lot or street side, otherwise none	8
STAIRS	10	*NO
STAIRS	No specific requirements found.	NA
ROCKING CHAIRS		

*Variance or rezoning may be required for project approval
**Design assumes full circulation is not required

PARKING MATRIX		
PARKING TYPE	REQUIRED	PROVIDED
ACCESS. PARKING SPACE	4	3
MAIN PARKING SPACE	1	1
TRAVEL PARKING SPACE	25	25
TOTAL PARKING SPACES	30	30

ROOM MATRIX									
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	TOTAL	%	NO. OF BEDS	
ROOM	0	2	5	0	0	7	17%	27%	27
WOMEN'S ROOM	0	0	0	0	0	0	0%	0%	0
ACCESSIBLE ROOM CORRIDOR	0	0	0	0	0	0	0%	0%	0
QUEEN QUEEN	0	10	12	12	12	46	46%	46%	46
QUEEN QUEEN CONNECTING	0	0	0	0	0	0	0%	0%	0
ACCESSIBLE QUEEN QUEEN	0	0	0	0	0	0	0%	0%	0
ACCESSIBLE QUEEN QUEEN	0	0	0	0	0	0	0%	0%	0
ROOM SUITE	0	0	0	0	0	0	0%	0%	0
ROOM SUITE CORRIDOR	0	0	0	0	0	0	0%	0%	0
ROOM SUITE CONNECTING	0	0	0	0	0	0	0%	0%	0
ACCESSIBLE ROOM SUITE	0	0	0	0	0	0	0%	0%	0
ROOM SUITE SUITE	0	0	0	0	0	0	0%	0%	0
ACCESSIBLE ROOM SUITE	0	0	0	0	0	0	0%	0%	0
GRAND TOTAL	0	22	27	24	24	97	97%	97%	97



BASE4

2001 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33486
www.base-4.com

Scale

Color



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS
1		

DATE 2019 06 10

DRAWN BY MM

CHECKED BY PP

SCALE AS NOTED

PROJECT NO. B4-173-1901

SHEET NAME

SITE PLAN

DRAWING NO.

A1.1

1994

424



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 2019.06.10

DRAWN BY _____ MM _____

CHECKED BY _____ PP _____

SCALE AS NOTED

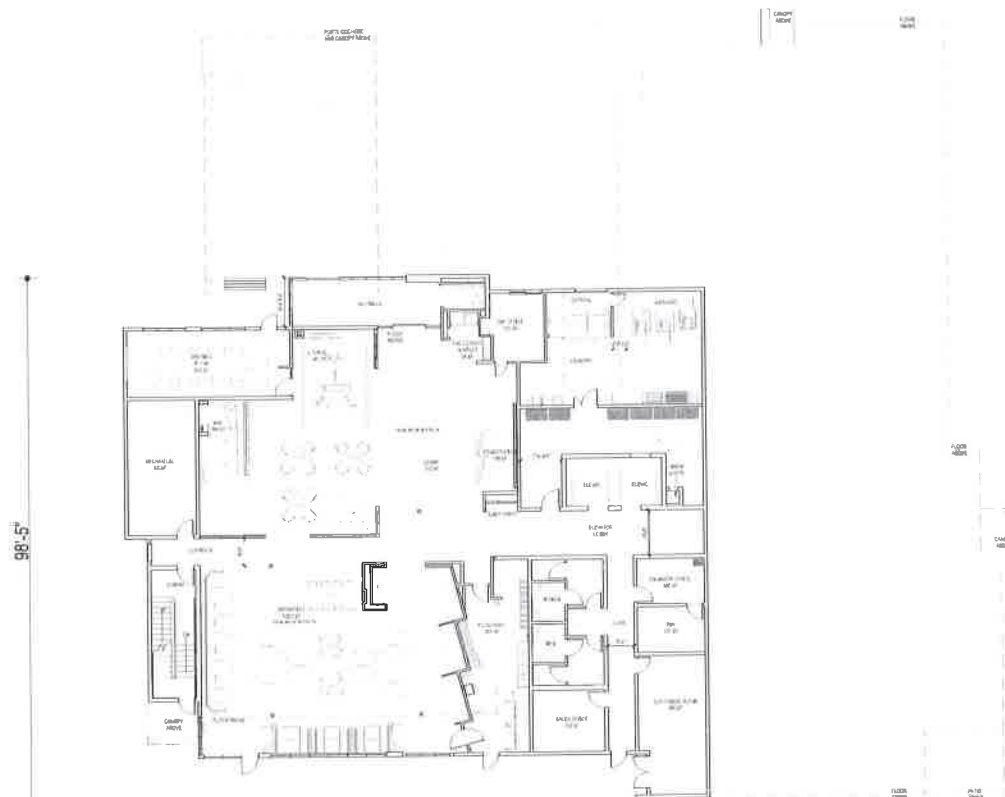
PROJECT NO. B4-173-1001

SHEET NAME

FLOOR PLAN

DRAWING NO.

DRAWING NO
A2.1



FLOOR AREA (SF)	
FST LEVEL FLOOR PLAN	9.26
2ND LEVEL FLOOR PLAN	25.5
3RD LEVEL FLOOR PLAN	14.2
4TH LEVEL FLOOR PLAN	34.2
5TH LEVEL FLOOR PLAN	14.2
TOTAL	97.36

		ROOM MATING						%	NO. OF RES.
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	TOTAL			
ALL	0	0	5	5	5	15	57%	3	
QUEEN CHAMP	0	0	2	2	2	6	75%	3	
ACCESSIBLE QUEEN CHAMP	0	0	0	0	0	0	0%	0	
QUEEN QUEEN	0	14	17	12	12	55	86%	110	
QUEEN QUEEN CORNERS	0	0	1	1	1	3	25%	5	
QUEEN QUEEN QUEEN	0	0	0	0	0	0	0%	0	
ACCESSIBLE QUEEN QUEEN	0	0	0	0	0	0	0%	0	
QUEEN SUITE	0	0	5	5	4	15	100%	25	
QUEEN SUITE QUEEN	0	0	1	1	1	3	75%	5	
QUEEN SUITE CORNERS	0	0	0	0	0	0	0%	0	
ACCESSIBLE QUEEN SUITE	0	0	0	0	0	0	0%	0	
QUEEN SUITE SUITE	0	0	0	0	0	0	0%	0	
ACCESSIBLE QUEEN SUITE	0	0	0	0	0	0	0%	0	
TOTAL	0	14	29	29	28	100	100%	140	

1

FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"



1

SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"



FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	5,381
2ND LEVEL FLOOR PLAN	15,200
3RD LEVEL FLOOR PLAN	15,178
4TH LEVEL FLOOR PLAN	34,239
5TH LEVEL FLOOR PLAN	34,239
TOTAL	67,837

ROOM MATRIX										
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	TOTAL	%	NO. OF ROOMS		
RECEIVING	0	1	0	1	0	2	1%	2		
RECEPTION	0	1	0	1	0	2	1%	2		
ACCESSIBLE KING CORRIDOR	0	0	1	1	0	2	1%	2		
QUEEN CORRIDOR	0	14	12	12	12	50	46%	50		
QUEEN CORRIDOR	0	0	1	1	1	3	3%	3		
ACCESSIBLE QUEEN CORRIDOR	0	0	0	1	1	2	2%	2		
ACCESSIBLE QUEEN CORRIDOR	0	1	0	0	0	1	1%	1		
KING SUITE	0	1	1	1	1	4	4%	4		
KING SUITE CORRIDOR	0	0	1	1	1	3	3%	3		
KING SUITE CORRIDOR	0	1	1	1	1	4	4%	4		
ACCESSIBLE KING SUITE	0	0	1	0	0	1	1%	1		
QUEEN CORRIDOR SUITE	0	0	0	0	1	1	1%	1		
ACCESSIBLE QUEEN CORRIDOR SUITE	0	0	0	1	0	1	1%	1		
GRAND TOTAL	0	22	29	29	29	109	100%	109		



BASE4

BASE4
2901 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33486
www.base4.com

Seal

Owner



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 2019.06.10

DRAWN BY MM

CHECKED BY PP

SCALE AS NOTED

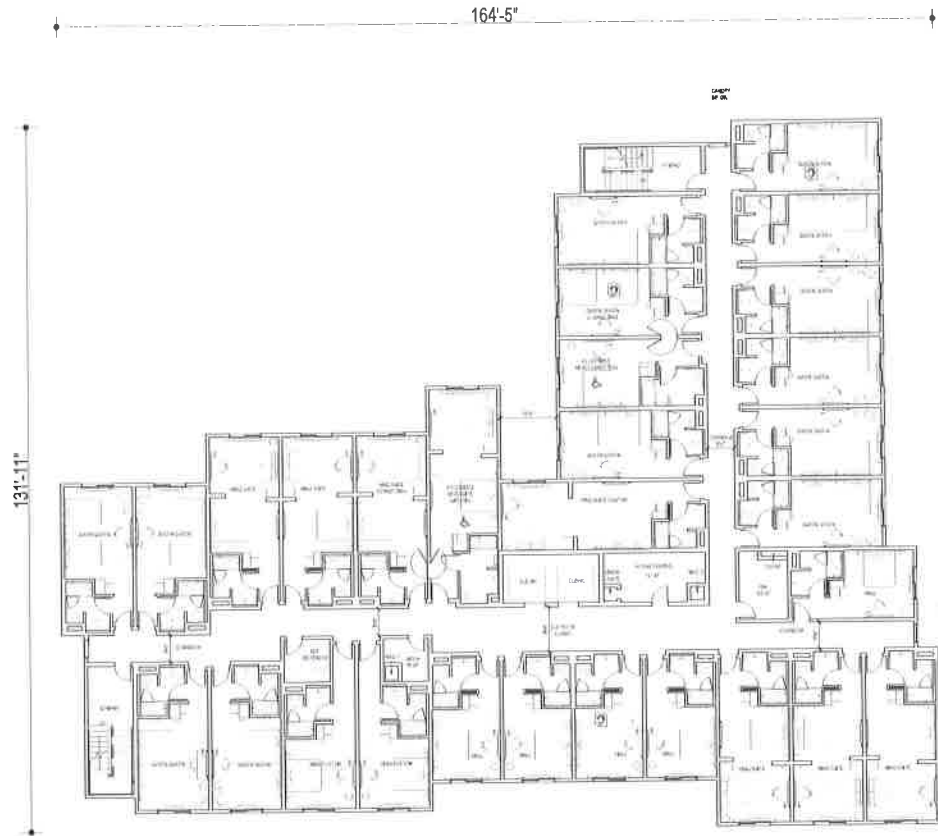
PROJECT NO. 184-173-1901

SHEET NAME

FLOOR PLAN

DRAWING NO.

A2.2



FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	8,381
2ND LEVEL FLOOR PLAN	23,313
3RD LEVEL FLOOR PLAN	16,135
4TH LEVEL FLOOR PLAN	34,233
5TH LEVEL FLOOR PLAN	34,233
TOTAL	116,295

ROOM MATRIX									
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	TOTAL	%	NO. OF BEDS	
SUITE	0	1	0	0	0	1	100%	2	2
SUITE CORRIDOR	0	2	0	0	0	2	100%	0	0
ACCESSIBLE KING CORRIDOR	0	0	1	1	0	2	100%	0	0
QUEEN CORRIDOR	0	14	12	12	11	59	100%	0	0
QUEEN CORRIDOR CORRIDOR	0	0	1	1	1	3	100%	0	0
ACCESSIBLE QUEEN CORRIDOR	0	0	0	1	1	2	100%	0	0
ACCESSIBLE QUEEN CORRIDOR	0	1	0	0	0	1	100%	0	0
SUITE SUITE	0	1	0	0	0	1	100%	2	2
SUITE CORRIDOR	0	0	1	1	1	3	100%	0	0
QUEEN CORRIDOR CORRIDOR	0	1	1	1	1	4	100%	0	0
ACCESSIBLE QUEEN CORRIDOR	0	0	1	0	0	1	100%	0	0
QUEEN CORRIDOR SUITE	0	0	1	0	0	1	100%	2	2
QUEEN CORRIDOR SUITE	0	0	0	1	0	1	100%	0	0
GRAND TOTAL	0	22	29	29	20	100	100%	380	380

1 THIRD FLOOR PLAN
SCALE 3/32" = 1'-0"



BASE4

BASE4
2801 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33486
www.base-4.com

Seal

Chart



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 09/18/2016

DRAWN BY MM

CHECKED BY PP

SCALE AS NOTED

PROJECT NO. B4-173-1901

SHEET NAME

FLOOR PLAN

DRAWING NO.

A2.3



FLOOR AREA (SF)		
1ST LEVEL FLOOR PLAN		5,261
2ND LEVEL FLOOR PLAN		25,558
3RD LEVEL FLOOR PLAN		59,235
4TH LEVEL FLOOR PLAN		54,833
5TH LEVEL FLOOR PLAN		66,579
TOTAL		211,466

ROOM MATRIX									
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	TOTAL	%		NO. OF BEDS
POOL	0	1	0	0	0	1	17%	0	0
POOL CABINETS	0	1	0	0	0	1	17%	0	0
ACCESSIBLE KING CORRIDOR	0	0	1	1	0	2	2%	0	0
QUEEN SUITE	0	14	14	14	14	56	40%	112	0
QUEEN QUEEN CORRIDOR	0	0	1	1	1	3	2%	0	0
ACCESSIBLE QUEEN QUEEN	0	0	0	0	1	1	2%	0	0
ACCESSIBLE QUEEN QUEEN - NS	0	1	0	0	0	1	1%	0	0
QUEEN SUITE	0	1	1	1	1	4	3%	0	0
QUEEN SUITE CUSTOM	0	0	1	1	1	3	2%	0	0
QUEEN SUITE CONNECTING	0	1	1	1	1	4	3%	0	0
ACCESSIBLE KING SUITE	0	0	1	0	0	1	1%	0	0
QUEEN QUEEN SUITE	0	0	0	1	1	2	1%	0	0
ACCESSIBLE QUEEN QUEEN SUITE	0	0	0	1	0	1	1%	0	0
GRAND TOTAL	0	22	26	26	26	100	100%	112	0



BASE4

2801 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

NO.	ISSUE DATE	PROJECT STATUS

DATE 2019.05.10

DRAWN BY MM

CHECKED BY PP

SCALE AS NOTED

PROJECT NO. B4-173-1801

SHEET NAME

FLOOR PLAN

DRAWING NO.

A2.4



FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	5,281
2ND LEVEL FLOOR PLAN	25,265
3RD LEVEL FLOOR PLAN	78,139
4TH LEVEL FLOOR PLAN	15,275
5TH LEVEL FLOOR PLAN	18,230
TOTAL	142,190

ROOM TYPE	ROOM MATRIX							%	NO. OF ROOMS
	1ST	2ND	3RD	4TH	5TH	TOTAL			
KING SUITE	0	0	0	0	0	0	0%		0
QUEEN SUITE	0	0	0	0	0	0	0%		0
ACCESSIBLE KING CORRIDOR	0	0	0	0	0	0	0%		0
QUEEN SUITE	0	14	12	12	12	50	35%		50
QUEEN SUITE CORRIDOR	0	0	0	0	0	0	0%		0
ACCESSIBLE QUEEN SUITE	0	0	0	0	0	0	0%		0
ACCESSIBLE QUEEN SUITE	0	0	0	0	0	0	0%		0
KING SUITE	0	1	1	0	0	2	1%		2
QUEEN SUITE CORRIDOR	0	0	0	0	0	0	0%		0
KING SUITE CORRIDOR	0	0	0	0	0	0	0%		0
ACCESSIBLE KING SUITE	0	0	0	0	0	0	0%		0
QUEEN SUITE CORRIDOR	0	0	0	0	0	0	0%		0
ACCESSIBLE QUEEN SUITE	0	0	0	0	0	0	0%		0
QUEEN SUITE CORRIDOR	0	0	0	0	0	0	0%		0
GRAND TOTAL	0	14	12	12	12	50	35%	100%	50



BASE4
2801 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33486
www.base-4.com

Seal

Date:



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 2019.05.10

DRAWN BY NM

CHECKED BY PP

SCALE AS NOTED

PROJECT NO. B4-173-1001

SHEET NAME

FLOOR PLAN

DRAWING NO.

A2.5



LEGEND-EXTERIOR FINISHES			
MARK	MTL. BRAND	FINISH COLOR	IMAGE
01	LAP (D&G)	LEONARDO TEXTURE (FAIRFELD 811)	
02	EPS (LWV)	CONCRETE TEXTURE (FAIRFELD 811)	
03	EPS (LWV)	SANDPAPER TEXTURE (FAIRFELD 811)	
04	EPS (LWV)	SANDPAPER TEXTURE (FAIRFELD 811)	
05	EPS (LWV)	SANDPAPER TEXTURE (FAIRFELD 811)	
06	CONCRETE	CONCRETE (FAIRFELD 811)	

1 NORTH ELEVATION
3/22 - 1/0



2 WEST ELEVATION
3/22 - 1/0



BASE4

2001 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.Base4.com



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

NO.	ISSUE DATE	PROJECT STATUS

DATE: 2/15/2011

DRAWN BY: MM

CHECKED BY: PP

SCALE: AS NOTED

PROJECT NO: B4-173-1901

SHEET NAME:

ELEVATIONS

DRAWING NO.

A3.1



BASE4

BASE4
2901 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33486
www.base4.com

Scale:

Client:



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No	ISSUE DATE	PROJECT STATUS

DATE: 2019.06.10

DRAWN BY: MM

CHECKED BY: PP

SCALE: AS NOTED

PROJECT NO: 84-173-1001

SHEET NAME:

ELEVATIONS

DRAWING NO.

A3.2

LEGEND-EXTERIOR FINISHES			
MARK	MTL BRAND	FINISH COLOR	IMAGE
01	LAP SENG JAMES HARDIE	GLASSMATE TEXTURE TANNER BATH	
02	ETS (PVC)	SLIMSTONE (EXTD)	
03	ETS (PVC)	SHAPESIDE TEXTURE BRN BLK GRN STONE/CHALKY	
04	ETS (PVC)	SHAPESIDE TEXTURE BRN BLK GRN STONE	
05	ETS (PVC)	SHAPESIDE TEXTURE BRN BLK GRN STONE	
06	ELDONADO STONE	SHAPESIDE TEXTURE SILVER/BRN	



1 SOUTH ELEVATION
3/32" = 1' 0"



2 EAST ELEVATION
3/32" = 1' 0"



1 NORTH ELEVATION (PART VIEW)
SCALE: 1/4" = 1'-0"



CHANNEL LETTER SPECIFICATIONS

Channel Letter Specifications:
Construction: 3" X .040" aluminum channel letter with .063" aluminum backs
Face Material: 3/16" 2447 white acrylic
 For trimless letters, 7/16" 2447 white acrylic to be used
Trim Cap: 1" black
 * For "By Marriott" and "Inn & Suites" channel letters with letter strokes less than 1" (on 24" "Fairfield" letter sets and smaller), trimless letters should be used.
Illumination: GE White LED's as required (225 lumen output)
Exterior Finish: Pre-finished black
Interior Finish: Paint reflective white

Channel Letter Face Specifications:
Face Material: 3/16" 2447 white acrylic with dual-color film to match Pantone® 5405 C blue - "Fairfield" and 3/16" 2447 white acrylic with 3635-222 dual-color film - "Inn & Suites by Marriott". For trimless letters, 7/16" 2447 white acrylic to be used with edges of letter faces painted black.

	A	B	C	D	E	F
F-24CL-2L	24"	7"	7 1/16"	1'-4 3/16"	4'-0 3/4"	10'-2 7/16"
F-30CL-2L	30"	8 3/4"	8 13/16"	1'-8 1/4"	5'-1"	12'-9 1/16"
F-36CL-2L	36"	10 1/2"	10 9/16"	2'-0 5/16"	6'-1 3/16"	15'-3 5/8"
F-48CL-2L	48"	1'-2"	1'-2 1/16"	2'-8 7/16"	8'-1 9/16"	20'-4 7/8"

* Letter height determined by the height of the letter "F"

2 SIGNAGE DETAILS



BASE4

BASE4
2801 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE: 2019.06.10

DRAWN BY: MM

CHECKED BY: PP

SCALE: AS NOTED

PROJECT NO.: B4-173-1001

SHEET NAME:

SIGNAGE DETAILS

DRAWING NO.

A5.1



1 WEST ELEVATION (PART VIEW)
SCALE 1/4" = 1'-0"



CHANNEL LETTER SPECIFICATIONS

Channel Letter Specifications:
Construction: 3" X .040" aluminum channel letter with .063" aluminum backs

Face Material: 3/16" 7328 white acrylic
For trimless letters, 7/16" 7328 white acrylic to be used
Trim Cap: 1" black

* For "By Marriott" and "Inn & Suites" channel letters with letter strokes less than 1" (on 24" "Fairfield" letter sets and smaller), trimless letters should be used

Illumination: GE White LED's as required (225 lumen output)

Exterior Finish: Pre-finished black
Interior Finish: Paint reflective white

Channel Letter Face Specifications:
Face Material: 3/16" 7328 white acrylic. For trimless letters for "By Marriott" and "Inn & Suites", faces to be 7/16" 2447 white acrylic with edges painted black.

	A	B	C	D	E	F
F-24CL-2L	24"	7"	7 1/16"	1'-4 3/16"	4'-0 3/4"	10'-2 7/16"
F-30CL-2L	30"	8 3/4"	8 13/16"	1'-8 1/4"	5'-1"	12'-9 1/16"
F-36CL-2L	36"	10 1/2"	10 9/16"	2'-0 5/16"	6'-1 3/16"	15'-3 5/8"
F-48CL-2L	48"	1'-2"	1'-2 1/16"	2'-8 7/16"	8'-1 9/16"	20'-4 7/8"

* Letter height determined by the height of the letter "F"

2 SIGNAGE DETAILS



BASE4

BASE4
2801 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

Seal

Date



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 2019.06.10

DRAWN BY MM

CHECKED BY FP

SCALE AS NOTED

PROJECT NO. B4-173-1001

SHEET NAME

SIGNAGE DETAILS

DRAWING NO.

A5.2



1 WEST ELEVATION (PART VIEW)
SCALE: 1/4" = 1'-0"



PORTE COCHERE LETTER SPECIFICATIONS
For Dark Colored Backgrounds

Letter Specifications:
Construction: .063" non-illuminated aluminum channel letter
Face Material: .125" routed aluminum
Illumination: Exterior flood lighting
Exterior Finish: Paint Pantone® 5405 C blue and Pantone® 877 C Silver, Satin Finish

* Mounting studs to be included to stand letters off of wall a minimum of 1/2"

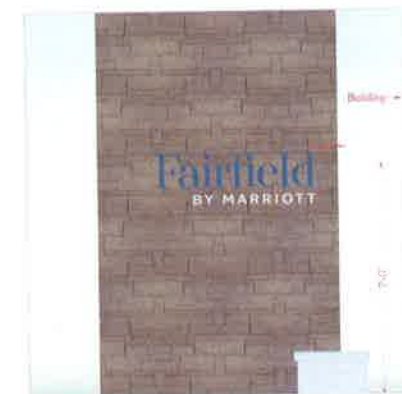
Letters to stand off wall minimum of 1/2"



Side Profile



Day and Night Appearance



Letter Positioning | "by Marriott" letters are always right justified to "Fairfield"

2 SIGNAGE DETAILS



BASE4

BASE4
2901 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33486
www.base-4.com

Scale

Date



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 2018.06.10

DRAWN BY MM

CHECKED BY PP

SCALE AS NOTED

PROJECT NO. B4-173-1901

SHEET NAME

SIGNAGE DETAILS

DRAWING NO.

A5.3

MONUMENT SPECIFICATIONS

Monument Specifications:

Construction: Aluminum angle frame with .125" aluminum shoe-box style faces

Face Construction: Routed aluminum with backer panel

Retainer: Bleed face

Illumination: GE White LED's

Exterior Finish: Paint Pantone® 5405 C blue, satin finish and Pantone® 877 C Silver, satin finish

Interior Finish: Paint reflective white

Monument Face Specifications:

Face Construction: Routed aluminum with backer panel

Face Decoration: Paint Pantone® 5405 C blue, satin finish

Backer Panel: .118" white solar grade polycarbonate

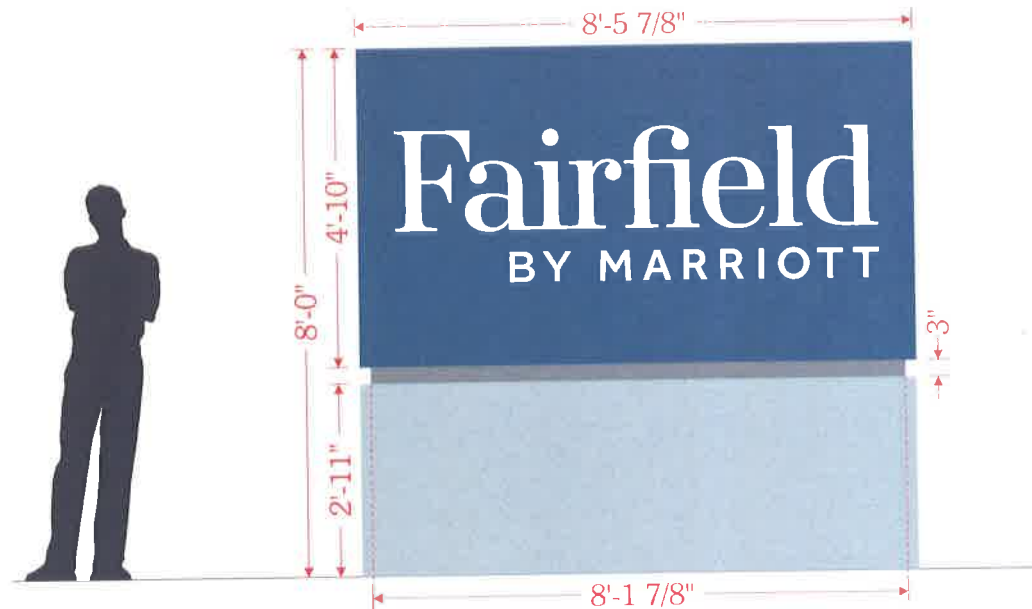
* "Fairfield Inn & Suites" and "Marriott" to appear white during the day and illuminate white at night

Pole Cover Specifications:

* Preferred method to have monument base match building hardscape (stone, brick, etc., provided by general contractor)

Construction: Aluminum angle frame with .080" aluminum skins

Exterior Finish: Paint Matthews 41342SP Brushed Aluminum, satin finish



2 MONUMENT SIGN



1 SITE PLAN (MONUMENT LOCATION)

SCALE 1" = 20'-0"



BASE

BASE4
2801 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33495
www.base-4.com

Seal

Drawn



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 2019 06 10

DRAWN BY MM

CHECKED BY PP

SCALE AS NOTED

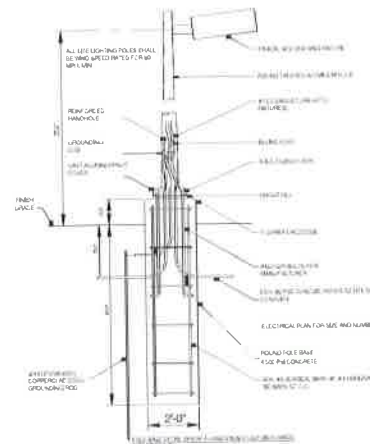
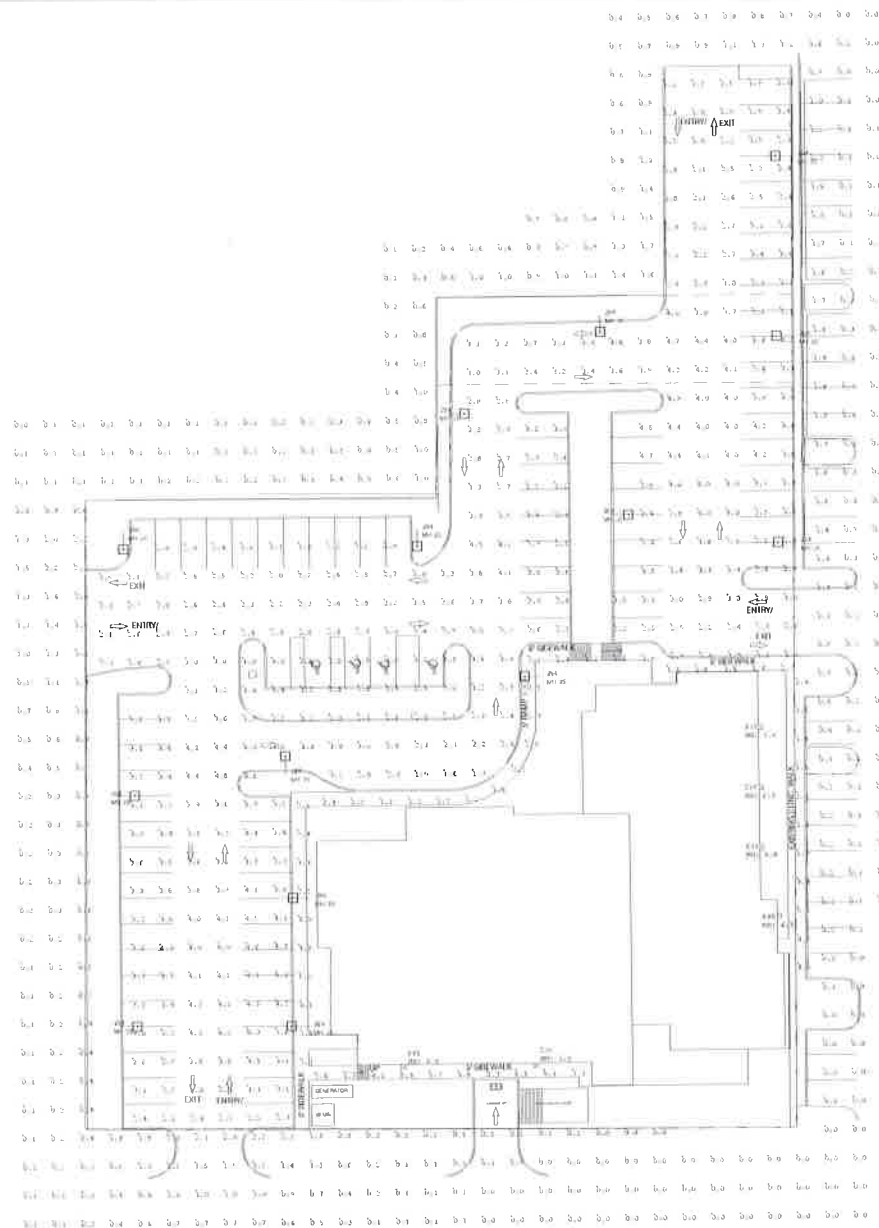
PROJECT NO. B-1-173 1801

SHEET NAME

MONUMENT SIGN

DRAWING NO.

A5.4



POLE BASE DETAIL

General Schedule									
Activity	Day	Start	End	Frequency	LT	Duration	Remarks	Unit	Qty
1.0	1-5	08:00	12:00	5x/week	1.0	1.0	Site Preparation	sq ft	1000
2.0	1-5	13:00	17:00	5x/week	1.0	1.0	Foundation Work	sq ft	1000
3.0	1-5	08:00	12:00	5x/week	1.0	1.0	Structural Work	sq ft	1000
4.0	1-5	13:00	17:00	5x/week	1.0	1.0	Interior Work	sq ft	1000
5.0	1-5	08:00	12:00	5x/week	1.0	1.0	Exterior Work	sq ft	1000
6.0	1-5	13:00	17:00	5x/week	1.0	1.0	Final Inspection	sq ft	1000



BASE4

BASE4
2801 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33486
www.base4.com

Seal

Stamp



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

NO.	ISSUE DATE	PROJECT STATUS

DATE 2019 06 03

DRAWN BY MM

CHECKED BY GWV

SCALE AS NOTED

PROJECT NO. 64-173-1901

SHEET NAME

SITE PHOTOMETRICS
PLAN

DRAWING NO.

SL002



Send



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

Nº.	ISSUE DATE	PROJECT STATUS

DATE 2019.08.10

DRAWN BY MM

CHECKED BY _____ PP _____

SCALE AS NOTED

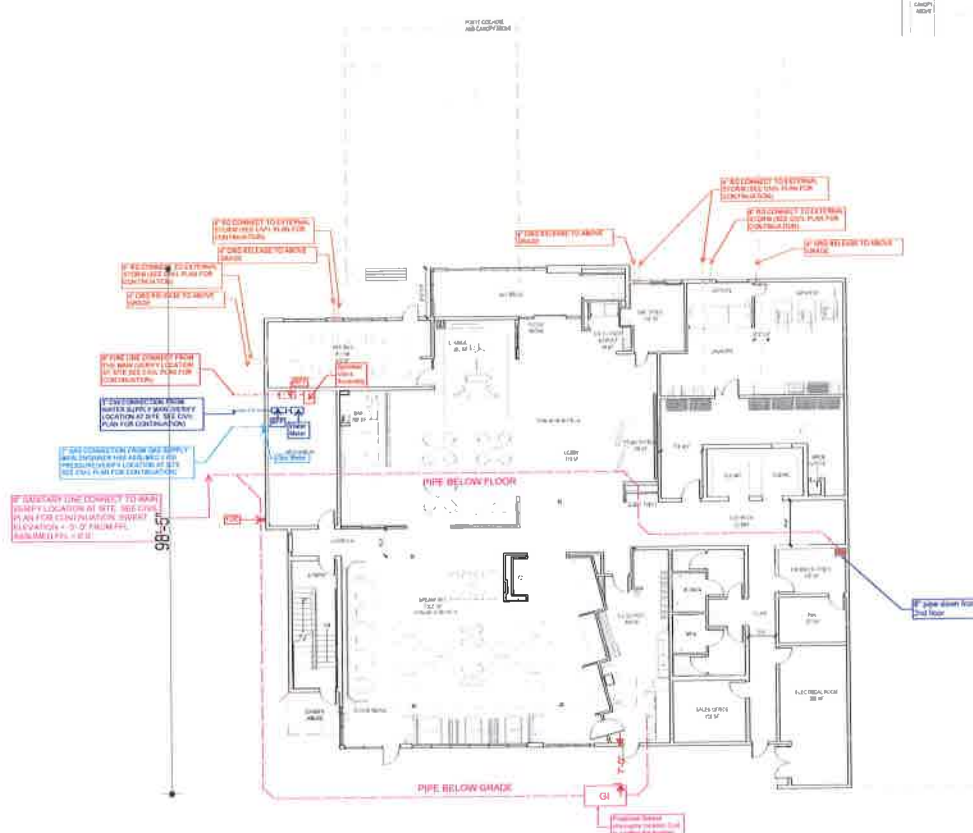
PROJECT NO	B4-173-1901
------------	-------------

SHEET NAME

FLOOR PLAN

DRAWING NO.

DRAWING NO. **A2.1**



LEGEND	
SYMBOL	DEFINITION
	ZANITARY
	STORM
	WATER
	FIRE
	GAS LINE

NOTE: RAINFALL INTENSITY IS 4 INCH PER HOUR
AS PER 2015 INTERNATIONAL PLUMBING CODE

FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	7,381
2ND LEVEL FLOOR PLAN	35,36
3RD LEVEL FLOOR PLAN	14,23
4TH LEVEL FLOOR PLAN	14,23
5TH LEVEL FLOOR PLAN	14,23
TOTAL	85,42

[illegible]



FLOOR AREA (SF)	
EST (EVEN) FLOOR PLAN	15,883
2ND LEVEL FLOOR PLAN	15,883
3RD LEVEL FLOOR PLAN	16,188
4TH LEVEL FLOOR PLAN	16,238
5TH LEVEL FLOOR PLAN	16,238
TOTAL	66,380

ROOM MATRIX									
ROOM TYPE	EST	2025	2030	40Y	50Y	TOTAL	%	NO. OF ROOMS	
KING	0	1	0	1	1	3	17%	27%	3
KING SUITE	0	1	0	1	1	3	17%		3
ACCESSIBLE KING CONNECTING	0	0	1	1	1	3	17%	50%	3
QUEEN	0	14	12	12	12	50	46%		50
QUEEN SUITE	0	0	1	1	1	3	17%	27%	3
ACCESSIBLE QUEEN SUITE	0	0	0	0	0	0	0%		0
ACCESSIBLE QUEEN SUITE	0	1	0	0	0	1	1%	27%	1
QUEEN SUITE	0	1	0	0	0	1	1%		1
QUEEN SUITE CONNECTING	0	0	1	1	1	3	17%	27%	3
ACCESSIBLE QUEEN SUITE	0	1	1	1	1	4	40%		4
ACCESSIBLE QUEEN SUITE	0	0	0	0	0	0	0%	27%	0
QUEEN SUITE	0	0	0	0	0	0	0%		0
ACCESSIBLE QUEEN SUITE	0	0	0	0	0	0	0%	27%	0
QUEEN SUITE	0	0	0	0	0	0	0%		0
TOTAL	0	25	25	25	25	100	100%	100%	

1 SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"



BASE4
2801 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

Scale

Notes



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

Rev.	ISSUE DATE	PROJECT STATUS

DATE 2018 06 10

DRAWN BY MM

CHECKED BY PP

SCALE AS NOTED

PROJECT NO 04-173-1803

SHEET NAME

FLOOR PLAN

DRAWING NO

A2.2



BASE4
2801 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

Chen



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 2019 06 12

DRAWN BY MM

CHECKED BY _____ PP _____

SCALE	AS NOTED
-------	----------

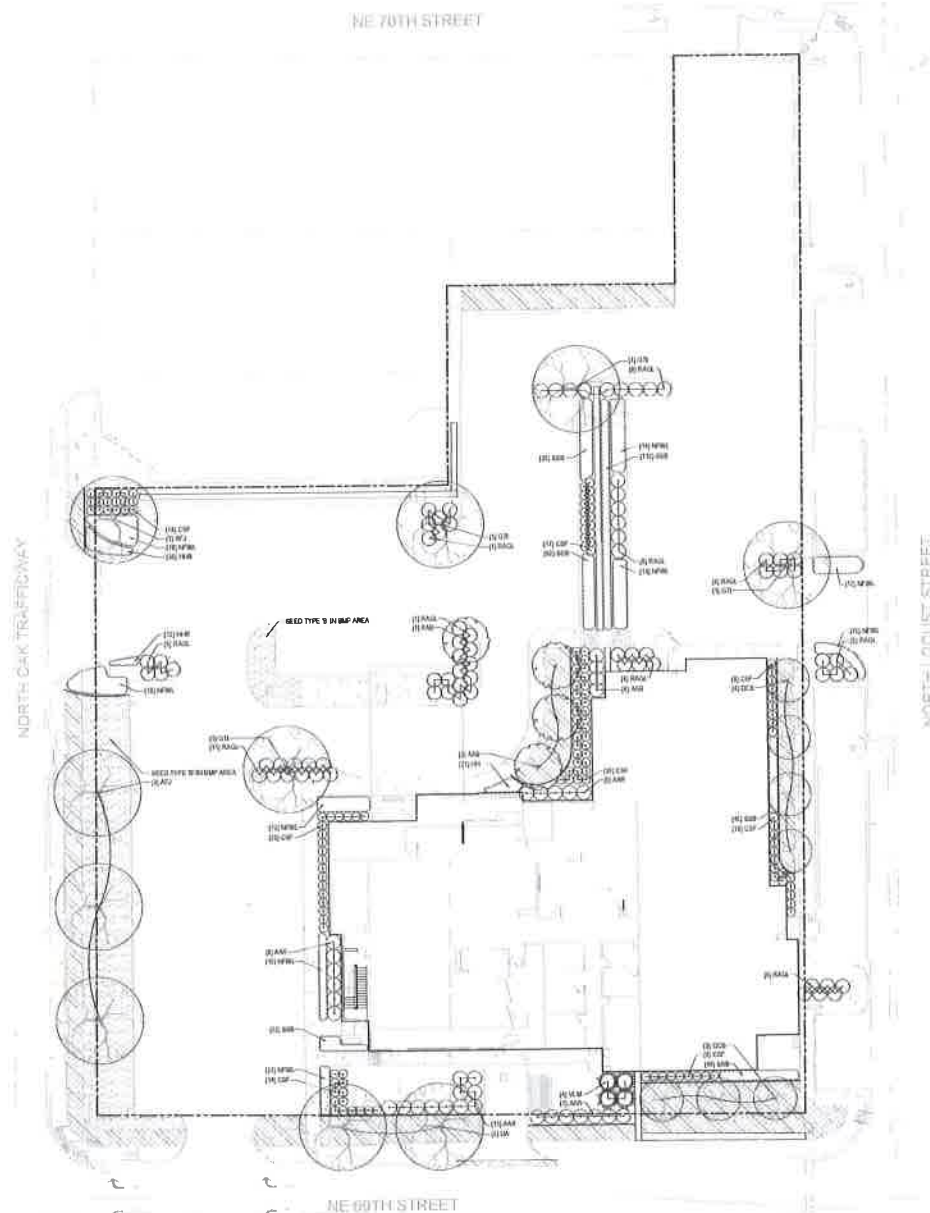
PROJECT NO	B4-173-1801
------------	-------------

SHEET NAME

Site Planting Plan

DRAWING NO.

L1.01



SOD TYPE 'A':
(OR APPROVED EQUAL)
RTF RHEUMATOID TAIL FEEDER BOX
(U.S. PATENT NO. 5,117,647)

SEED TYPE 'B':
(OR APPROVED EQUAL)
TOUCH-NATIVE SHORLENE SEED MATH
BY NATIONAL SEED
SOWING RATE: 5.311 LBS/AC (11.8 L/HA)

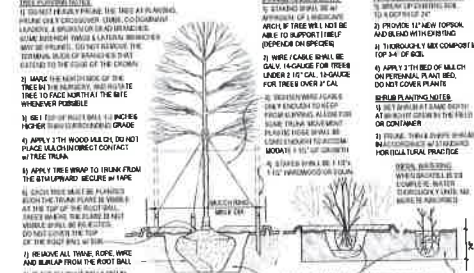
[illegible]

...and normal active

- [illegible]

STUDYING THE MIND

- [illegible]



1 PLANTING INSTALLATION DETAILS

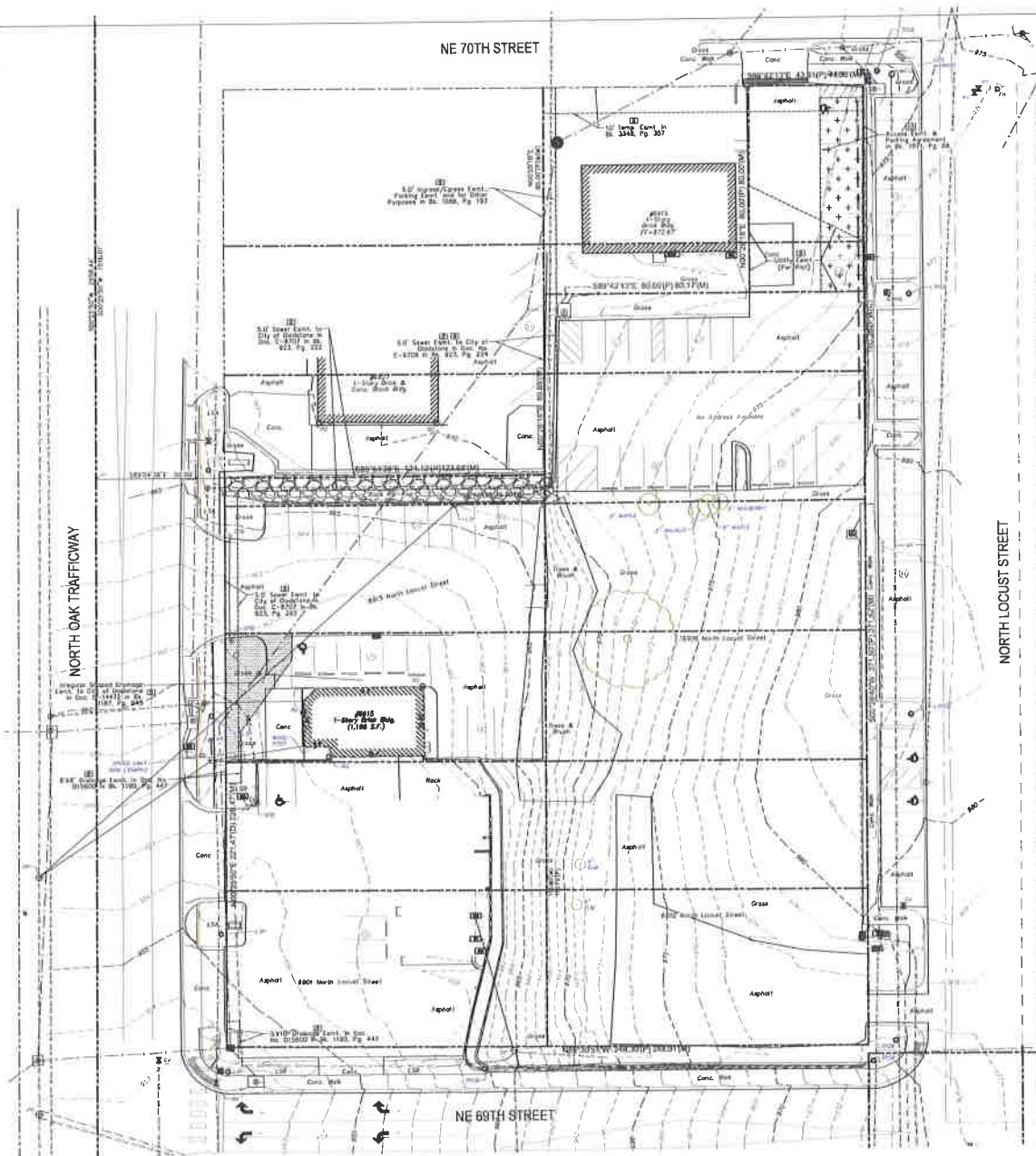
1. **DATE**



2 CULTIVATED MULCH EDGE

2 SOUTH
WEST ZONE

SITE PLANTING PLAN



EXISTING CONDITIONS
SCALE: 1/8"



CLARK
ENERSEN
PARTNERS
ARCHITECTS
1001 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
TEL: 561.366.1000
WWW.CLARKENERSEN.COM



BASE4
2001 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

Seal

Drawn:

moderately AS PER CONSTRUCTION DOCUMENTS



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

SITE INFORMATION

LEGAL DESCRIPTION (BLOCK & LOT)	
LOCATION	
OWNER	
DESIGNED BY	
TOTAL SQUARE FEET	
ACCESSIBLE STAIRS PROVIDED	

LEGEND

PROPERTY LINE
EASEMENT LINE
EXISTING WATER SURVEY
EXISTING SANITARY SEWER
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING UNDERGROUND TV LINE
EXISTING UNDERGROUND FIBER LINE

PROPERTY LINE
EASEMENT LINE
EXISTING WATER SURVEY
EXISTING SANITARY SEWER
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING UNDERGROUND TV LINE
EXISTING UNDERGROUND FIBER LINE

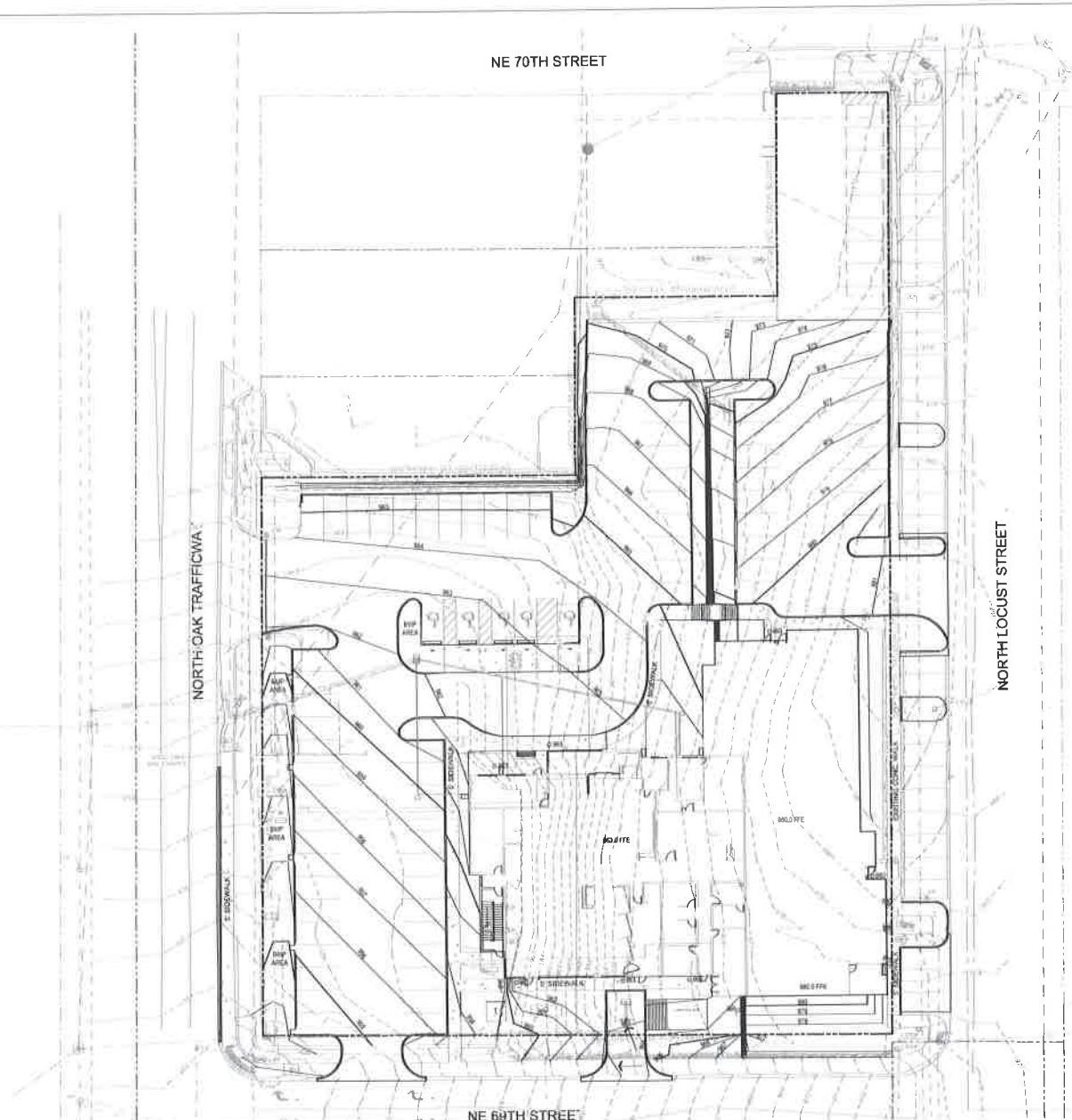
NO.	ISSUE DATE	PROJECT STATUS

DATE: 2019 06 12
DRAWN BY: MM
CHECKED BY: PP
SCALE: AS NOTED
PROJECT NO: 18-123-1801
SHEET NAME:

Existing Conditions

DRAWING NO.

C1.01



SITE GRADING PLAN
SCALE: 1/8" = 1'-0"



BASE4
2801 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

GRADING NOTES

1. THE PROPOSED CONTOUR LINE REPRESENTS TOP OF SLAB, TOP OF CURB OR TOP OF SIDEWALK. THE CONTRACTOR SHALL VERIFY THESE ELEVATIONS AND RECONSTRUCT THE FINISHED SURFACE AS NEEDED. THE CONTRACTOR SHALL LEAVE THE SITE AT ORIGINAL ELEVATIONS IN PARKING LOT AND DRIVELANE AREAS.
2. ALL LINES SHOWN REPRESENTING PAVEMENT ARE TO BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR SETTLEMENTS DUE TO NEIGHBOR CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY GRADING WILL TAKE PLACE BEYOND THE PROPERTY LINE.
6. ALL EXISTING CURBS AND SIDEWALKS SHALL BE REMOVED FROM WITHIN THE LIMITS OF CONSIDERATION TO A MINIMUM OF 10' FROM THE PROPERTY LINE AND RECONSTRUCTED WITH THE TOPSOIL. A MINIMUM DEPTH OF 6" IS ANTICIPATED ON THE SITE.
7. EXISTING PAVEMENT SHALL BE REMOVED AND STOCKPILED BY THE CONTRACTOR FOR REUSE. EXISTING PAVEMENT SHALL BE REMOVED AND STOCKPILED BY THE CONTRACTOR FOR REUSE. EXISTING PAVEMENT SHALL BE REMOVED AND STOCKPILED BY THE CONTRACTOR FOR REUSE. EXISTING PAVEMENT SHALL BE REMOVED AND STOCKPILED BY THE CONTRACTOR FOR REUSE.
8. TOPSOIL SHALL BE 12" MINIMUM DEPTH OF THE EXISTING TOPSOIL. TOPSOIL SHALL BE 12" MINIMUM DEPTH OF THE EXISTING TOPSOIL. TOPSOIL SHALL BE 12" MINIMUM DEPTH OF THE EXISTING TOPSOIL. TOPSOIL SHALL BE 12" MINIMUM DEPTH OF THE EXISTING TOPSOIL.
9. CONTRACTOR SHALL MAINTAIN ALL LOW SPOTS TO DRAIN.
10. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE EXISTING NEIGHBOR TO VERIFY EXISTING CONDITIONS OF THE GRADING SITE.
11. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING FOR ALL NATURAL AND PAVED AREAS.
12. DRAINAGE SHALL BE TO CONDUITS SHOWN IN DRAINAGE PLAN.
13. AT THE COMPLETION OF GRADING THE CONTRACTOR SHALL REMOVE ANY EXCESS EXCAVATION 1' FROM THE SITE.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS PRIOR TO COMMENCING CONSTRUCTION.
15. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES IF NECESSARY.
16. ANY GEOTECHNICAL TESTING REPORTS REQUESTED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE OWNER AND TO THE ENGINEER.
17. SINCE STOPPING AND REMOVAL OF EXISTING AREAS COMPLETE, THE CONTRACTOR SHALL PROTECT THE AREAS TO BE REMOVED FROM CONSTRUCTION. THE CONTRACTOR SHALL INFORM THE NEIGHBORHOOD AND THE PUBLIC OF THE REMOVAL OF EXISTING AREAS. THE CONTRACTOR SHALL INFORM THE NEIGHBORHOOD AND THE PUBLIC OF THE REMOVAL OF EXISTING AREAS.
18. FULL TIME OBSERVATION AND TESTING BY A QUALIFIED TESTING LABORATORY PROFESSIONAL GEOTECHNICAL ENGINEER SHALL OCCUR TO MONITOR SOIL STOPPING, REMOVAL OF EXISTING AREAS, AND THE BUILDING AREA DRAINAGE SYSTEMS AND PROTECT THE BUILDING FROM PLACEMENT.

LEGEND

- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

Scale

Owner

AS PER CONSTRUCTION DOCUMENTS



Fairfield
BY HARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

NO.	ISSUE DATE	PROJECT STATUS

DATE: 2019 06 12
DRAWN BY: MM
CHECKED BY: JPP
SCALE: AS NOTED
PROJECT NO: B-1-173-1001
SHEET NAME:

Site Grading Plan

CHANGING PLOT

C3.01

1. THE CONTRACTOR SHALL MAINTAIN STRICT LATERAL CLEARANCE AS SHOWN ON THE PLANS FOR ALL UTILITY LINES.

2. IN THE EVENT THE MAJOR SERVICE ROUTES ARE ACQUIRED BY THE FIELD BY THE JUNE FACILITY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TO THE UTILITIES A RECORD OF THE SEARCH LOCATIONS BY THE CONTRACTOR (INTERVIEW). A MAJOR SERVICE WORKSHEET SHALL BE AVAILABLE TO LOCATE THE CONTRACT RECORDS. THE CONTRACTOR SHALL PROVIDE THE SERVICE LOCATIONS TO THE UTILITIES IN ELECTRIC FORMAT.

[illegible][illegible]

PROPOSED WATER SERVICE
 PROPOSED SANITARY SEWER
 PROPOSED STORM SEWER
 EXISTING STORM SEWER
 PROPOSED GAS LINE
 PROPOSED UNDERGROUND ELECTRICAL LINE
 SLOPE CHAINING
 PROPOSED STORM SEWER CATCHMENT
 PROPOSED STORM SEWER DRAINAGE



BASE4
2901 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

Seed



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE 2019 06 12

DRAWN BY _____ MM

CHECKED BY _____ PP _____

SCALE	AS NOTED
-------	----------

PROJECT NO. BA-173-1501

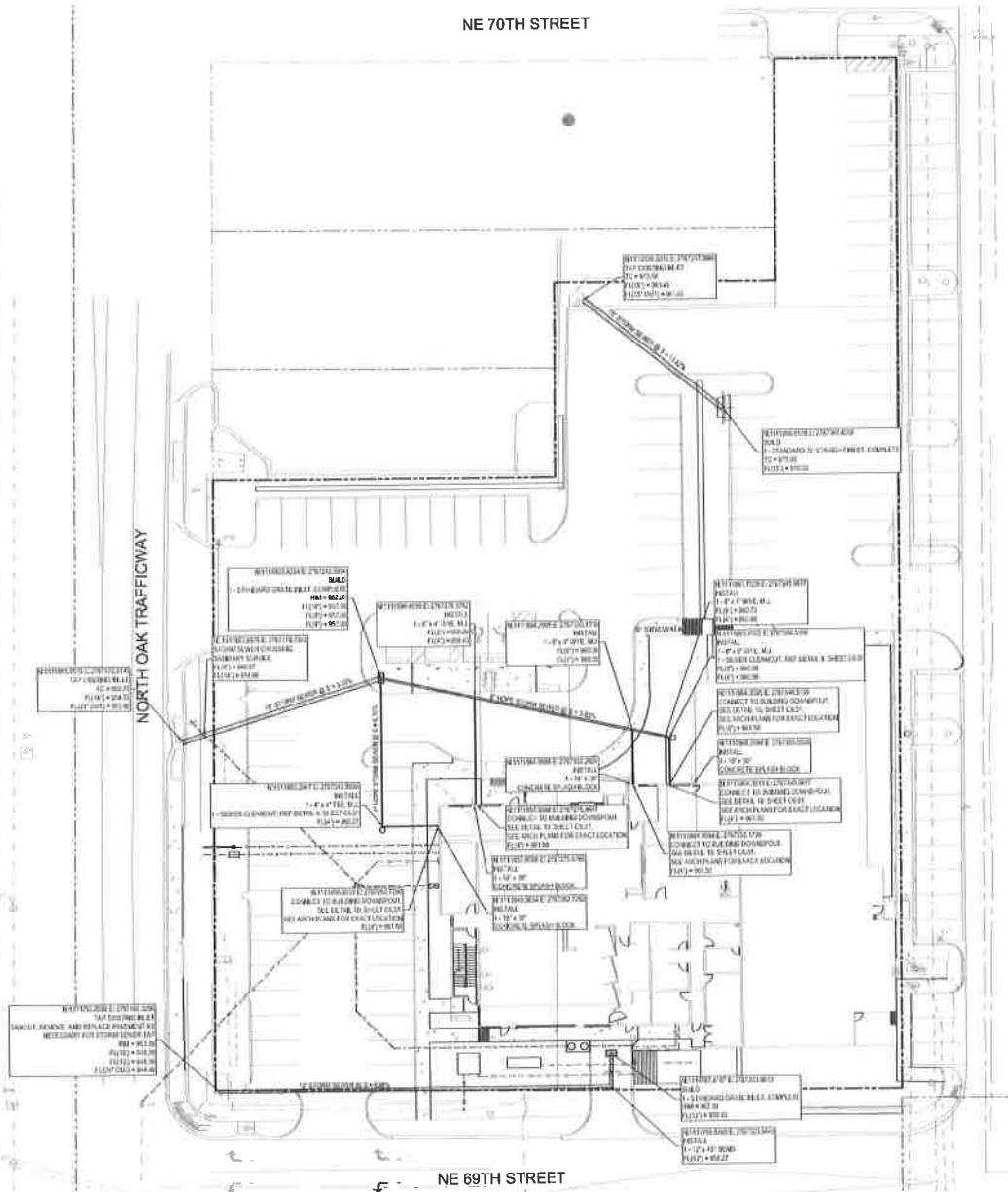
SHEET NAME

Site Utilities Plan

DRAWING NO

C4.01

NE 70TH STREET



SITE STORM SEWER PLAN
DATE: 1/2/20



BASE4
2801 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33486
www.base4.com

GENERAL NOTES

1. THE CONTRACTOR SHALL MAINTAIN SUFFICIENT LATERAL CLEARANCE AS SHOWN ON THE PLANS FOR ALL UTILITIES.
2. BEFORE ANY WORK BEGINS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESENTING TO THE ENGINEER A RECORD OF THE EXISTING CONDITIONS AT THE CONTRACT SITE. THE CONTRACTOR SHALL PROVIDE THE SURVEYOR WITH THE SURVEY DATA TO THE ENGINEER'S ELECTRONIC FORM.
3. ALL TRACINGS SHALL BE BACKFILLED AND COMPLETED.
4. THE CONTRACTOR SHALL RESTORE ANY DISTURBED AREA TO ITS PREVIOUS CONDITION.
5. THE CONTRACTOR SHALL VERIFY ALL VERTICAL AND HORIZONTAL COORDINATES OF ALL PROPOSED AND EXISTING UTILITIES PRIOR TO INSTALLATION OF EQUIPMENT. CONDUCT THE WORK WITH ANY CORRECTIONS.
6. ALL EXISTING UTILITIES SHALL BE CAPTURED AND WORKED AROUND WITH NEARLY ALL PLANS.

STORM SEWER NOTES

1. ALL STATIONS AND DIMENSIONS ARE TO BE CENTERLINE OF VERTICAL UNLESS OTHERWISE NOTED.
2. ALL STORM SEWER PIPE MATERIAL 12" AND SMALLER SHALL BE ADVANCED DRAINAGE SYSTEMS (ADS) PRODUCT OR APPROVED EQUAL.
3. ALL STORM SEWER PIPE MATERIAL TO CONFORM TO LOCAL CODES.

UTILITIES LEGEND

- PROPOSED WATER SERVICE
- PROPOSED DRAINAGE SEWER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED GAS LINE
- PROPOSED UNDERGROUND ELECTRIC LINE
- SEWER CLEARANCE
- PROPOSED STORM SEWER CLEAN INLET
- PROPOSED STORM SEWER CLEAN INLET

Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

NO.	ISSUE DATE	PROJECT STATUS

DATE	2019/06/12
DRAWN BY	MM
CHECKED BY	PP
SCALE	AS NOTED
PROJECT NO	81-173-1901
SHEET NAME	

Site Storm Sewer Plan

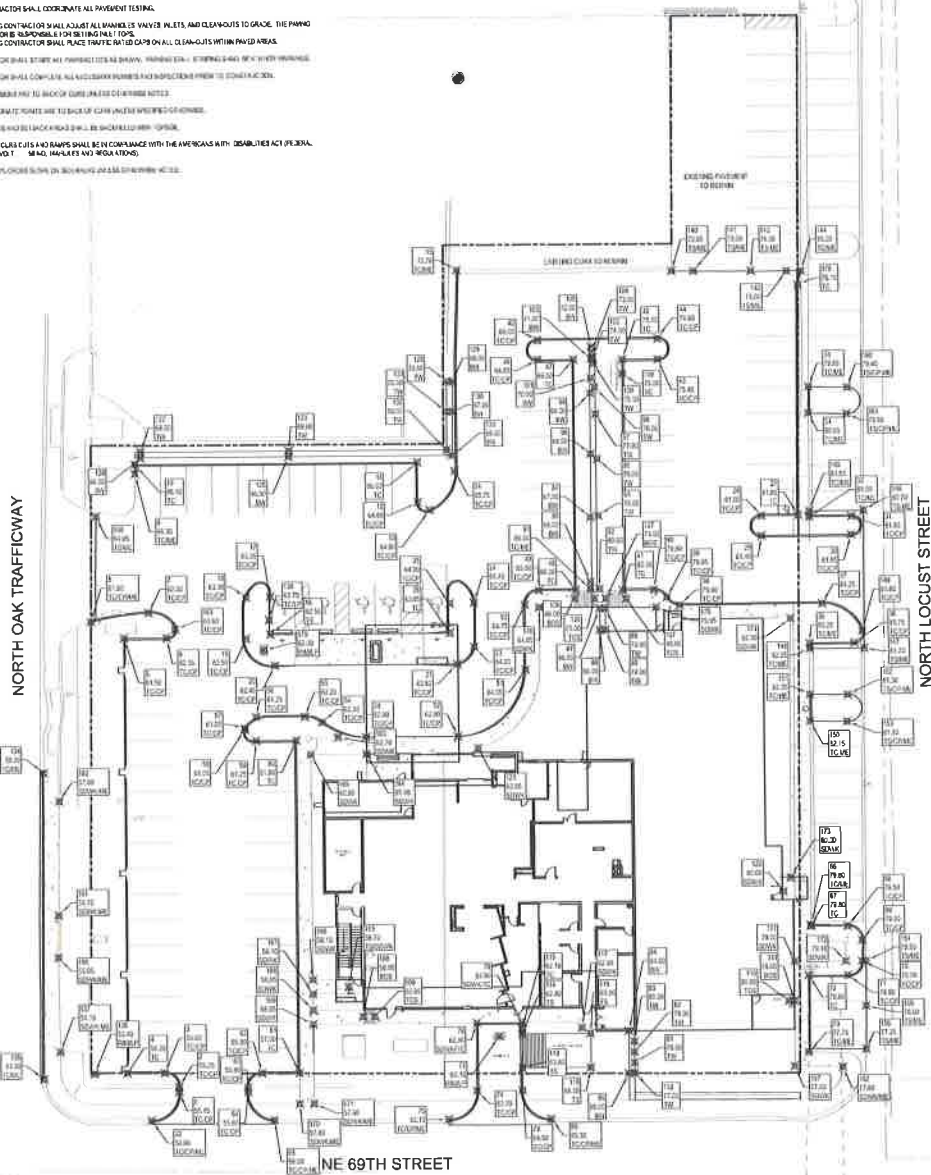
DRAWING NO.

C4.02

PAVING NOTES

1. THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FOR THIS PROJECT.
2. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES.
3. THE PAVING CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY PIPES, AND CLEAN-OUTS TO GRADE. THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING ALL TOPS.
4. THE PAVING CONTRACTOR SHALL PLACE THICKET AT TOP OF CURB ON ALL CLEAN-OUTS WITHIN PAVED AREAS.
5. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL COMPLY WITH ALL NECESSARY PERMITS AND REGULATIONS PRIOR TO CONSTRUCTION.
7. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
8. ALL CONCRETE FINISHES ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
9. ALL FINISHES TO BE BACK OF CURB SHALL BE BACKED TO CURB.
10. ALL CURB CUTS AND RAMP SHALL BE CONFORMANCE WITH THE AMERICAN WITH DISABILITIES ACT (ADA).
11. MINIMUM FINISHES SHALL BE 1/4" MINIMUM AND 1/4" MAXIMUM.

NE 70TH STREET



SITE PAVING PLAN
SCALE: 1/8" = 1'-0"

LEGEND

- PROPERTY LINE
- PROPOSED DRIVE
- PROPOSED 1/2" THICK CONCRETE DRIVEWAY
- PROPOSED 1/2" THICK CONCRETE DRIVEWAY

TABLE LEGEND

TC = TOP OF CURB
SINK = SIDEWALK
RW = ROADWAY
ME = MATCH EXISTING
TS = TOP OF SLOPE
LP = LOW POINT
FW = TOP OF WALL
BW = BOTTOM OF WALL
TOE = TOP OF STEP
BOE = BOTTOM OF STEP

NOTE: ALL SPOT ELEVATIONS ARE INDICATED FOR CLARITY AND 0.00 IS ON VERTS AND 0.00 (11.30 + 9.20)

POINT #	DESCRIPTION	ELEVATION	NORTHING	EASTING
1	TC/VE	68.30	1111088.00	276758.10
2	TC/VE	68.30	1111088.00	276758.10
3	TC/CP	68.30	1111088.00	276758.10
4	TC/CP	68.30	1111088.00	276758.10
5	TC/CP	68.30	1111088.00	276758.10
6	TC/CP	68.30	1111088.00	276758.10
7	TC/CP	68.30	1111088.00	276758.10
8	TC/CP	68.30	1111088.00	276758.10
9	TC/CP	68.30	1111088.00	276758.10
10	TC/CP	68.30	1111088.00	276758.10
11	TC/CP	68.30	1111088.00	276758.10
12	TC/CP	68.30	1111088.00	276758.10
13	TC/CP	68.30	1111088.00	276758.10
14	TC/CP	68.30	1111088.00	276758.10
15	TC/CP	68.30	1111088.00	276758.10
16	TC/CP	68.30	1111088.00	276758.10
17	TC/CP	68.30	1111088.00	276758.10
18	TC/CP	68.30	1111088.00	276758.10
19	TC/CP	68.30	1111088.00	276758.10
20	TC/CP	68.30	1111088.00	276758.10
21	TC/CP	68.30	1111088.00	276758.10
22	TC/CP	68.30	1111088.00	276758.10
23	TC/CP	68.30	1111088.00	276758.10
24	TC/CP	68.30	1111088.00	276758.10
25	TC/CP	68.30	1111088.00	276758.10
26	TC/CP	68.30	1111088.00	276758.10
27	TC/CP	68.30	1111088.00	276758.10
28	TC/CP	68.30	1111088.00	276758.10
29	TC/CP	68.30	1111088.00	276758.10
30	TC/CP	68.30	1111088.00	276758.10
31	TC/CP	68.30	1111088.00	276758.10
32	TC/CP	68.30	1111088.00	276758.10
33	TC/CP	68.30	1111088.00	276758.10
34	TC/CP	68.30	1111088.00	276758.10
35	TC/CP	68.30	1111088.00	276758.10
36	TC/CP	68.30	1111088.00	276758.10
37	TC/CP	68.30	1111088.00	276758.10
38	TC/CP	68.30	1111088.00	276758.10
39	TC/CP	68.30	1111088.00	276758.10
40	TC/CP	68.30	1111088.00	276758.10
41	TC/CP	68.30	1111088.00	276758.10
42	TC/CP	68.30	1111088.00	276758.10
43	TC/CP	68.30	1111088.00	276758.10
44	TC/CP	68.30	1111088.00	276758.10
45	TC/CP	68.30	1111088.00	276758.10
46	TC/CP	68.30	1111088.00	276758.10
47	TC/CP	68.30	1111088.00	276758.10
48	TC/CP	68.30	1111088.00	276758.10
49	TC/CP	68.30	1111088.00	276758.10
50	TC/CP	68.30	1111088.00	276758.10

POINT #	DESCRIPTION	ELEVATION	NORTHING	EASTING
51	TC	68.30	1111088.00	276758.10
52	TC/CP	68.30	1111088.00	276758.10
53	TC/CP	68.30	1111088.00	276758.10
54	TC/CP	68.30	1111088.00	276758.10
55	TC/CP	68.30	1111088.00	276758.10
56	TC/CP	68.30	1111088.00	276758.10
57	TC	68.30	1111088.00	276758.10
58	TC/CP	68.30	1111088.00	276758.10
59	TC/CP	68.30	1111088.00	276758.10
60	TC/CP	68.30	1111088.00	276758.10
61	TC/CP	68.30	1111088.00	276758.10
62	TC	68.30	1111088.00	276758.10
63	TC	68.30	1111088.00	276758.10
64	TC/VE	68.30	1111088.00	276758.10
65	TC/CP	68.30	1111088.00	276758.10
66	TC/CP	68.30	1111088.00	276758.10
67	TC/CP	68.30	1111088.00	276758.10
68	TC/CP	68.30	1111088.00	276758.10
69	TC/CP	68.30	1111088.00	276758.10
70	TC/CP	68.30	1111088.00	276758.10
71	TC/CP	68.30	1111088.00	276758.10
72	TC/CP	68.30	1111088.00	276758.10
73	TC/CP	68.30	1111088.00	276758.10
74	TC/CP	68.30	1111088.00	276758.10
75	TC/CP	68.30	1111088.00	276758.10
76	TC/CP	68.30	1111088.00	276758.10
77	TC/CP	68.30	1111088.00	276758.10
78	TC/CP	68.30	1111088.00	276758.10
79	TC/CP	68.30	1111088.00	276758.10
80	TC/CP	68.30	1111088.00	276758.10
81	TC/CP	68.30	1111088.00	276758.10
82	TC/CP	68.30	1111088.00	276758.10
83	TC/CP	68.30	1111088.00	276758.10
84	TC/CP	68.30	1111088.00	276758.10
85	TC/CP	68.30	1111088.00	276758.10
86	TC/CP	68.30	1111088.00	276758.10
87	TC/CP	68.30	1111088.00	276758.10
88	TC/CP	68.30	1111088.00	276758.10
89	TC/CP	68.30	1111088.00	276758.10
90	TC/CP	68.30	1111088.00	276758.10
91	TC/CP	68.30	1111088.00	276758.10
92	TC/CP	68.30	1111088.00	276758.10
93	TC/CP	68.30	1111088.00	276758.10
94	TC/CP	68.30	1111088.00	276758.10
95	TC/CP	68.30	1111088.00	276758.10
96	TC/CP	68.30	1111088.00	276758.10
97	TC/CP	68.30	1111088.00	276758.10
98	TC/CP	68.30	1111088.00	276758.10
99	TC/CP	68.30	1111088.00	276758.10
100	TC/CP	68.30	1111088.00	276758.10
101	TC/CP	68.30	1111088.00	276758.10
102	TC/CP	68.30	1111088.00	276758.10
103	TC/CP	68.30	1111088.00	276758.10
104	TC/CP	68.30	1111088.00	276758.10
105	TC/CP	68.30	1111088.00	276758.10
106	TC/CP	68.30	1111088.00	276758.10
107	TC/CP	68.30	1111088.00	276758.10
108	TC/CP	68.30	1111088.00	276758.10
109	TC/CP	68.30	1111088.00	276758.10
110	TC/CP	68.30	1111088.00	276758.10
111	TC/CP	68.30	1111088.00	276758.10
112	TC/CP	68.30	1111088.00	276758.10

CONTROL POINTS				
POINT #	DESCRIPTION	ELEVATION	NORTHING	EASTING
121	TC	68.30	1111078.00	276752.10
122	BW	68.30	1111078.00	276750.00
123	BW	68.30	1111071.00	276750.00
124	TC	73.00	1111063.50	276755.87
125	BOS	73.00	1111050.00	276756.93
126	TC	73.00	1111067.75	276757.82
127	BW	68.30	1111097.00	276756.82
128	BW	68.30	1111097.00	276756.82
129	BW	67.00	1111100.11	276756.89
130	TC	70.00	1111087.97	276753.60
131	TC	65.00	1111031.34	276753.60
132	BW	65.00	1111031.34	276753.60
133	TC	65.00	1111031.34	276753.60
134	TC/CP	65.00	1111060.75	276751.62
135	TC/CP	54.25	1111151.34	276751.63
136	RW/LP	54.15	1111125.00	276751.63
137	SONWAE	55.00	1111030.00	276751.63
138	TC/CP	62.75	1111091.34	276751.60
139	TC	70.00	1111096.00	276756.54
140	TC/CP	72.85	1111020.00	276756.54
141	TC/CP	75.00	1111050.00	276756.54
142	TC/CP	75.00	1111225.34	276756.54
143	TC/CP	75.00	1111225.34	276756.54
144	TC/CP	75.00	1111225.34	276756.54
145	TC/CP	75.00	1111225.34	276756.54
146	TC/CP	65.75	1111020.00	276751.63
147	TC/CP	61.25	1111020.00	276751.63
148	TC/CP	82.25	1111020.00	276751.63
149	TC/CP	81.25	1111020.00	276751.63
150	TC/CP	81.25	1111020.00	276751.63
151	TC/CP	81.25	1111020.00	276751.63
152	TC/CP	81.25	1111020.00	276751.63
153	TC/CP	81.25	1111020.00	276751.63
154	TC/CP	81.25	1111020.00	276751.63
155	TC/CP	81.25	1111020.00	276751.63
156	TC/CP	81.25	1111020.00	276751.63
157	TC/CP	81.25	1111020.00	276751.63
158	TC/CP	81.25	1111020.00	276751.63
159	TC/CP	81.25	1111020.00	276751.63
160	TC/CP	81.25	1111020.00	276751.63
161	TC/CP	81.25	1111020.00	276751.63
162	TC/CP	81.25	1111020.00	276751.63
163	TC/CP	81.25	1111020.00	276751.63
164	TC/CP	81.25	1111020.00	276751.63
165	TC/CP	81.25	1111020.00	276751.63
166	TC/CP	81.25	1111020.00	276751.63
167	TC/CP	81.25	1111020.00	276751.63
168	TC/CP	81.25	1111020.00	276751.63
169	TC/CP	81.25	1111020.00	276751.63
170	TC/CP	81.25	1111020.00	276751.63
171	TC/CP	81.25	1111020.00	276751.63
172	TC/CP	81.25	1111020.00	276751.63
173	TC/CP	81.25	1111020.00	276751.63
174	TC/CP	81.25	1111020.00	276751.63
175	TC/CP	81.25	1111020.00	276751.63
176	TC/CP	81.25	1111020.00	276751.63
177	TC/CP	81.25	1111020.00	276751.63
178	TC/CP	81.25	1111020.00	276751.63
179	TC/CP	81.25	1111020.00	276751.63
180	TC/CP	81.25	1111020.00	276751.63
181	TC/CP	81.25	1111020.00	276751.63
182	TC/CP	81.25	1111020.00	276751.63
183	TC/CP	81.25	1111020.00	276751.63
184	TC/CP	81.25	1111020.00	276751.63
185	TC/CP	81.25	1111020.00	276751.63
186	TC/CP	81.25	1111020.00	276751.63
187	TC/CP	81.25	1111020.00	276751.63
188	TC/CP	81.25	1111020.00	276751.63
189	TC/CP	81.25	1111020.00	276751.63
190	TC/CP	81.25	1111020.00	276751.63
191	TC/CP	81.25	1111020.00	276751.63
192	TC/CP	81.25	1111020.00	276751.63
193	TC/CP	81.25	1111020.00	276751.63
194	TC/CP	81.25	1111020.00	276751.63
195	TC/CP	81.25	1111020.00	276751.63
196	TC/CP	81.25	1111020.00	276751.63
197	TC/CP	81.25	1111020.00	276751.63
198	TC/CP	81.25	1111020.00	276751.63
199	TC/CP	81.25	1111020.00	276751.63
200	TC/CP	81.25	1111020.00	276751.63



BASE4
2801 CLINT MOORE ROAD #114
BOCA RATON, FLORIDA 33496
www.base-4.com

Scale

Client



Fairfield
BY MARRIOTT
INN & SUITES

FAIRFIELD INN & SUITES
GLADSTONE, MO

No.	ISSUE DATE	PROJECT STATUS

DATE: 2019 06 12

DRAWN BY: MM

CHECKED BY: PP

SCALE: AS NOTED

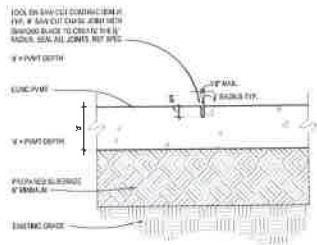
PROJECT NO: 88-173-1184

SHEET NAME:

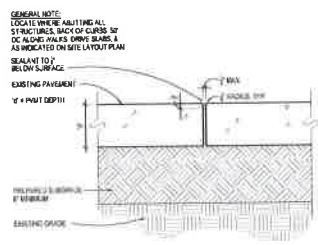
Construction Details

DRAWING NO:

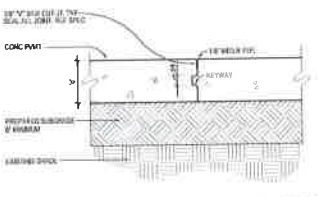
C6.01



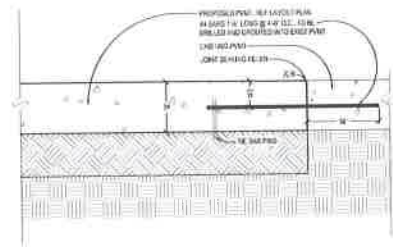
1 CONC. CONTRACTION JOINT
NO SCALE



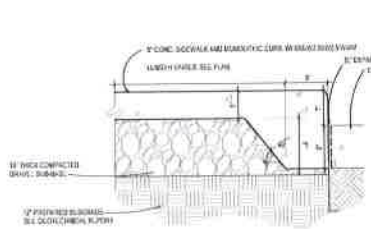
2 CONCRETE EXPANSION JOINT
NO SCALE



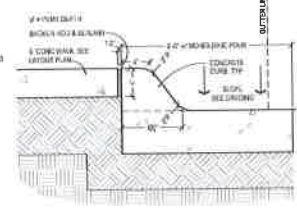
3 CONCRETE CONSTRUCTION JOINT
NO SCALE



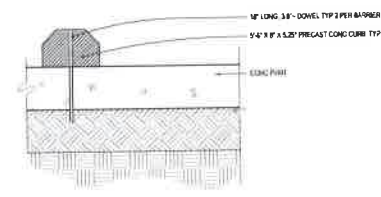
4 CONCRETE CONSTRUCTION JOINT:
PROPOSED TO EXISTING PVMT
NO SCALE



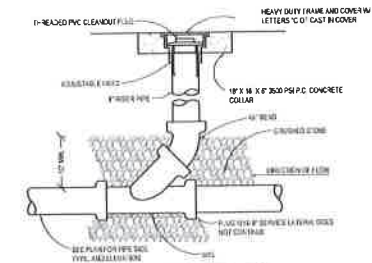
5 TYP CONCRETE W/ THICKENED EDGE
NO SCALE



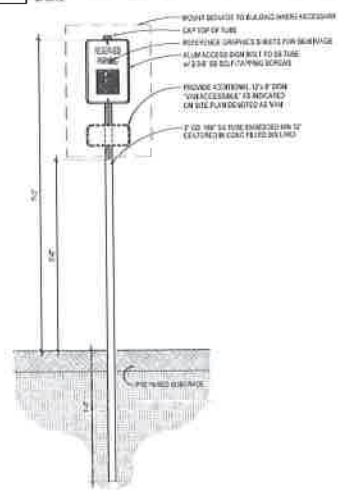
6 INTEGRAL CONCRETE CURB & GUTTER
NO SCALE



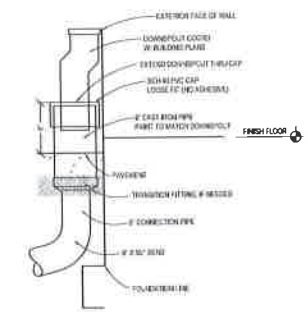
7 PRECAST CURB STOP
NO SCALE



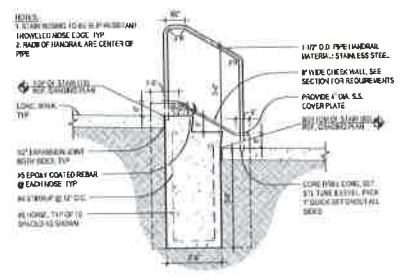
8 SEWER CLEAN-OUT DETAIL
NO SCALE



9 SIGN POST W/ ADA ACCESSIBLE SIGN
NO SCALE



10 DOWNSPOUT CONNECTION
NO SCALE



11 C.I.P. CONCRETE STAIRS
NO SCALE

